

CITY OF RANCHO CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730



PROJECT DESCRIPTION

THE CITY OF RANCHO CUCAMONGA (HEREINAFTER "CITY") AND THE RANCHO CUCAMONGA FIRE PROTECTION DISTRICT (HEREINAFTER "RCFPD"), JOINTLY, PROPOSE TO CONSTRUCT A NEW FIRE STATION NO. 178. THE SITE IS AT THE CORNER OF TOWN CENTER DRIVE AND TERRA VISTA PARKWAY. THE FIRE STATION SITE IS ADJACENT TO THE TOWN CENTER MALL AND ACROSS TOWN CENTER DRIVE FROM A NEW TOWNHOUSE COMPLEX.

THE ENTIRE PARCEL ENCOMPASSES 3.67 ACRES. THE AFFECTED AREA PROPOSED FOR THE FIRE STATION DEVELOPMENT IS IN THE NORTHERN PORTION OF THE PARCEL AND IS APPROXIMATELY 97,186 SF (2.23 ACRES). THERE IS AN ADJACENT AREA OF 62,500 SF (1.44 ACRES) WHICH IS SLATED FOR FUTURE SITE IMPROVEMENTS.

IN THE AREA OF DEVELOPMENT, THE SITE WILL BE FILLED TO ALLOW THE APPARATUS TO RESPOND DIRECTLY ONTO TOWN CENTER DRIVE. THERE IS A 5-6' LEVEL CHANGE AT THE MOST EXTREME LOCATION. ONCE INFILLED, THE SITE WILL BE DEVELOPED WITH CONCRETE PAVING AND ASPHALT PAVING, SITE LIGHTING, EMERGENCY GENERATOR WITH ENCLOSURE, LANDSCAPING, FENCING AND GATES. FOUR OF THE LANDSCAPE AREAS WILL BE UTILIZED AS BIO-RETENTION BASINS. THE PROJECT LANDSCAPING IS DESIGNED TO FOLLOW THE CITY'S LANDSCAPE DESIGN REQUIREMENTS FOR DROUGHT TOLERANT PLANT SELECTION AND LOW FLOW IRRIGATION SYSTEMS. PLANT SELECTION IS SUITABLE TO BIO-RETENTION BASINS WHERE APPROPRIATE.

THE SECURE FIREFIGHTER PARKING AREA PROVIDES 20 PARKING SPACES (INCLUDING ONE ACCESSIBLE SPOT), AN AREA FOR APPARATUS WASHDOWN, TANK FILL AND TRAINING DRILLS. THERE IS A TRASH ENCLOSURE JUST OUTSIDE THE SECURE AREA. THIS AREA ALSO PROVIDES ACCESS FOR A FUTURE RESERVE APPARATUS STORAGE FACILITY. A PUBLIC PARKING AREA WITH ACCESS FROM TERRA VISTA PARKWAY INCLUDES FOUR SPACES PLUS TWO VAN ACCESSIBLE PARKING SPACES WITH ACCESSIBLE LOADING ZONE. THE PARKING AREA IS LOCATED TO THE EAST OF THE FIRE STATION AND INCLUDES AN ACCESSIBLE ROUTE TO THE STATION ENTRANCE AND TO THE PUBLIC WAY.

OFF-SITE IMPROVEMENTS INCLUDE A NEW RESPONSE APRON AT TOWN CENTER DRIVE AND TWO DRIVEWAY APRONS AT TERRA VISTA PARKWAY. A KEEP CLEAR ZONE WILL BE STRIPPED IN FRONT OF THE APPARATUS BAY APRON ALONG TOWNE CENTER DRIVE. A FUTURE TRAFFIC SIGNAL IS PLANNED FOR THE INTERSECTION OF TOWNE CENTER DRIVE AND TERRA VISTA PARKWAY. A SIGNAL PRE-EMPT WILL BE INCLUDED IN THE STATION DESIGN TO ALLOW THE FIRE DEPARTMENT TO CONTROL THE SIGNAL UPON A RESPONSE ALERT.

THE PROPOSED 12,176 S.F., TWO-STORY FIRE STATION WILL HOUSE 7 ON-DUTY FIRE FIGHTERS IN A 24-HOUR SHIFT. THREE ON-DUTY FIREFIGHTERS ARE ASSIGNED TO ENGINE 178, AND THREE ARE ASSIGNED TO SQUAD COMPANY. THE STATION IS DESIGNED TO ACCOMMODATE A BATTALION CHIEF OR OTHER POTENTIAL COMBINATION OF RESPONSE COMPANIES IN THE FUTURE. A MEDIC COMPANY MAY BE ADDED IN THE FUTURE. THE STATION LOCATION IS CENTERED IN THE CITY AND IN AN AREA PLANNED FOR HIGH-DENSITY RESIDENTIAL AND LARGE-SCALE OFFICE BUILDING DEVELOPMENTS. THE STATION PLANNING IS FORWARD THINKING TO ADDRESS POTENTIAL CHANGES IN RESPONSE NEEDS WELL INTO THE FUTURE.

THE CORE FACILITIES OF THE STATION (KITCHEN, DINING, DAYROOM, RESTROOMS, FITNESS ROOM AND APPARATUS SUPPORT SPACES) HAVE BEEN DESIGNED TO ACCOMMODATE 8 ON-DUTY PERSONNEL (7 ON-DUTY STAFF AND ONE TRAINEE).

THE FIRE STATION INCLUDES THE FOLLOWING ELEMENTS:

- TWO DRIVE-THROUGH APPARATUS BAYS.
- ONE BACK-IN APPARATUS BAY FOR A BATTALION CHIEF VEHICLE OR MEDIC.
- APPARATUS SUPPORT SPACES INCLUDING A WORKSHOP, MEDICAL STORAGE AND CLEAN-UP, TURNOUT STORAGE AND RELATED JANITORIAL FACILITIES.
- PUBLIC LOBBY, ACCESSIBLE RESTROOM, AND STATION OFFICE.
- CAPTAIN'S OFFICES AND A MEETING ROOM OR SPACE FOR A FUTURE BATTALION CHIEF.
- KITCHEN, DINING, DAYROOM, AND LAUNDRY ROOM.
- PRIVATE SLEEPING QUARTERS WITH UNISEX RESTROOMS.
- MECHANICAL, ELECTRICAL, COMMUNICATIONS ROOMS.
- VERTICAL CIRCULATION INCLUDES TWO SETS OF STAIRS AND AN ELEVATOR.

THE FUTURE RESERVE APPARATUS BUILDING IS PLANNED AS A 36' X 56' STORAGE BUILDING (2,016 SF). THE CONSTRUCTION DATE FOR THIS PORTION OF THE WORK IS UNKNOWN AT THIS TIME, BUT SPACE HAS BEEN RESERVED ON THE SITE PLAN AND INITIALLY, IT WILL BE A GRAVEL ZONE.

FLOOR PLAN LAYOUT - FOR SHORTEN RESPONSE PATHS, A TWO-STORY PLAN WAS DESIRED. THE ARRANGEMENT PLANNING LOCATES THE STATION OFFICES AND LIVING QUARTERS ON THE EAST SIDE OF THE APPARATUS BAY AND THE LARGER APPARATUS SUPPORT AREAS ON THE WEST SIDE OF THE APPARATUS BAYS. A SMALL LOBBY AND PUBLIC REST ROOM IS INCLUDED ON THE NORTH-EAST CORNER OF THE FACILITY FACING TOWN CENTER DRIVE, ADJACENT TO PUBLIC PARKING. THE SECOND LEVEL OF THE STATION INCLUDES THE SLEEPING QUARTERS AND REST ROOMS FOR THE STATION CREWS. AS REQUIRED BY ACCESSIBILITY AND BUILDING AND SAFETY CODES THERE ARE TWO EGRESS STAIRS AND AN ELEVATOR TO THE SECOND FLOOR. FOR THE MOST DIRECT RESPONSE PATH FROM THE SECOND FLOOR TO THE APPARATUS BAY, A FIRE POLE IS INCLUDED IN THE PLAN. THE FLOOR PLAN TARGET SQUARE FOOTAGE IS 12,176 S.F. WITH APPROXIMATELY 8,242 S.F. ON THE FIRST FLOOR AND 3,934 S.F. ON THE SECOND.

FIRE STATION EXTERIOR DESIGN - THE EXTERIOR DESIGN OF THE FIRE STATION WAS DEVELOPED TO COMPLIMENT THE NEIGHBORHOOD AND BLEND IN WITH THE NEW MIX-USED RESIDENTIAL NEIGHBORHOODS. THE TOWER ELEMENT AND THE APPARATUS BAY DOOR FACING TOWN CENTER DRIVE ARE KEY DETAILS OF THE DESIGN THAT SET THE FACILITY APART AS A FIRE STATION. THE BUILDING EXTERIOR IS DESIGNED USING A MIXTURE OF RAIN-SCREEN SYSTEMS (CEMENT PANEL AND PHENOLIC SIDING) PROVIDING CEMENT AND WOOD LIKE APPEARANCES TO CREATE A BALANCED FAÇADE. THE STATION ENTRY PROVIDES A WINDOW WALL SYSTEM WHICH INVITES THE PUBLIC ON THE FIRST LEVEL AND PROVIDES ABUNDANT NATURAL LIGHT ON THE SECOND LEVEL FOR THE FITNESS AREA. THERE IS A ROLL-UP DOOR FROM THE FITNESS ROOM TO THE EAST FACING DECK THAT ALLOWS THE WORKOUT SESSIONS TO CONTINUE OUTDOORS. THE KEY MASSING OF THE BUILDING INCLUDES A ONE-STORY APPARATUS BAY AND A TWO-STORY OFFICE AND LIVING SPACE. THERE ARE CLERESTORY WINDOWS INTO THE APPARATUS BAY AND A LIGHT MONITOR PROVIDING DAYLIGHT TO THE SECOND-FLOOR INTERIOR CORRIDOR. THE SECOND LEVEL CONTAINS THE SLEEPING AND RESTROOM AREAS. ALL SLEEPING ROOMS ARE PROVIDED WITH ALUMINUM CLAD WOOD CASEMENT WINDOWS TO ALLOW EGRESS FROM THE SLEEPING ROOMS. EXTERIOR PATIO AND DECK AREAS CREATE EXTERIOR OPEN SPACE FOR THE FIRE FIGHTERS TO RELAX AND TRAIN.

PROJECT TEAM

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DESIGN REVIEW  
PLANNING APPLICATION



CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:

COVER SHEET

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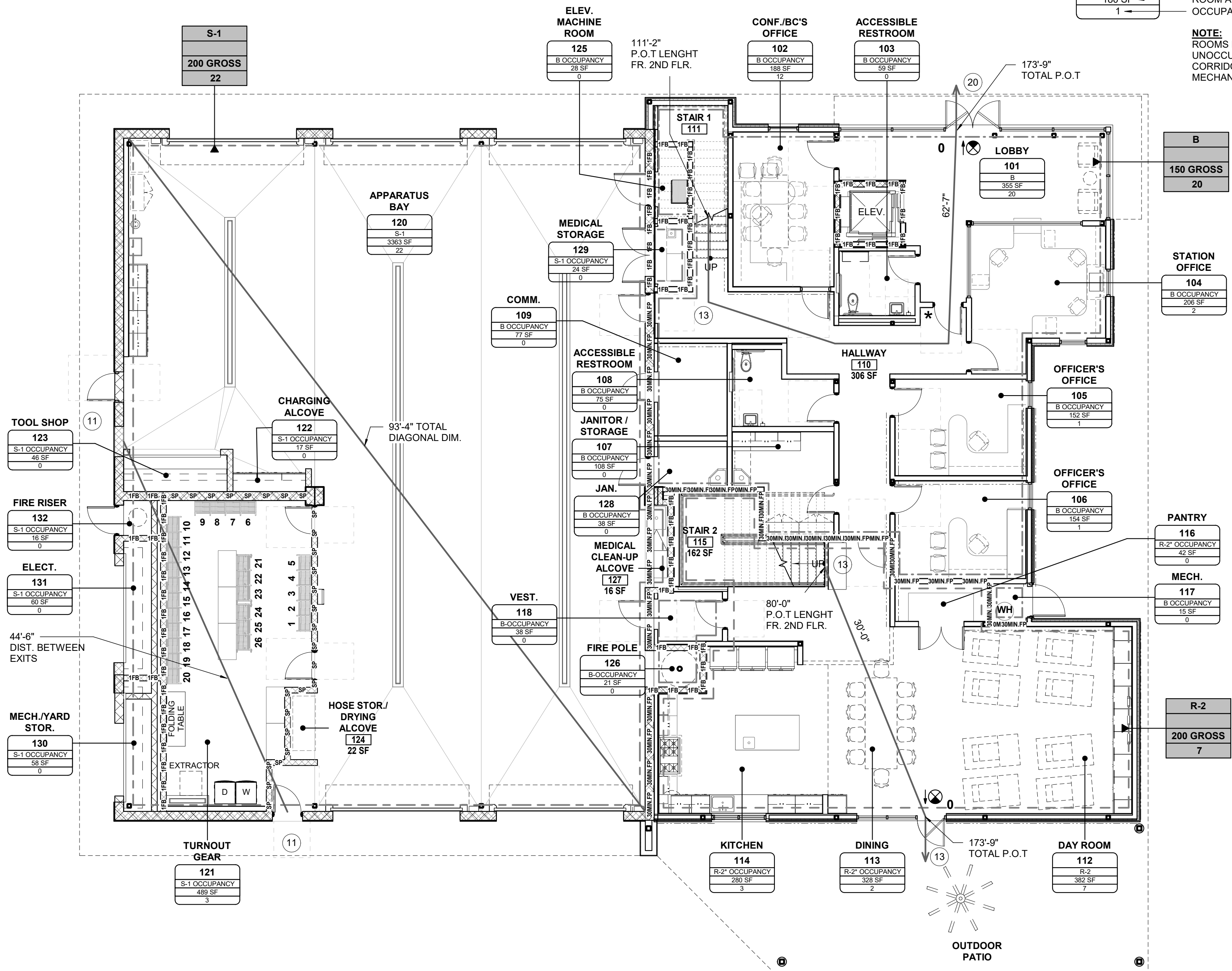
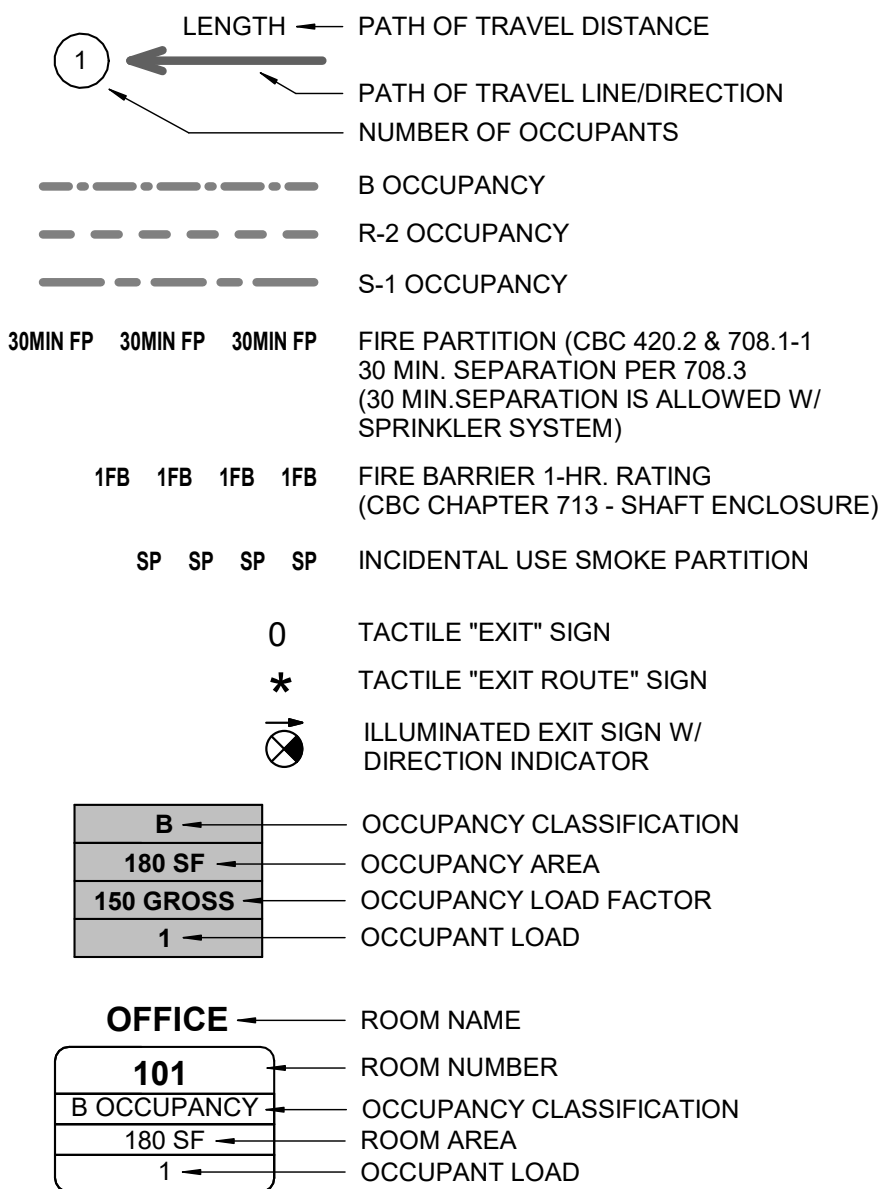
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A2 | LEGEND - CODE



2 FIRST FLOOR CODE PLAN  
1/8" = 1'-0"

A1 | CODE ANALYSIS

CODE SUMMARY: RANCHO CUCAMONGA FIRE STATION 178 AND STORAGE BUILDING  
2019 CBC BASIS

OCCUPANCY USE AND CLASSIFICATION

FIRE STATION:	OFFICE/LOBBY LIVING QUARTERS APPARATUS BAY	OCCUPANCY B OCCUPANCY R-2 OCCUPANCY S-1
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STORAGE:	APPARATUS BAY	OCCUPANCY S-1
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R-2 -- "RESIDENTIAL OCCUPANCIES CONTAINING SLEEPING UNITS OR MORE THAN TWO DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE (NON-TRANSIENT)". THE FIRE STATION HAS EIGHT SLEEPING UNITS WHICH CAN ALLOW A MAXIMUM OF ONE OCCUPANT AT ANY ONE TIME (FOR A MAXIMUM OCCUPANCY OF 8). EACH SLEEPING UNIT HAS AN EMERGENCY EXIT WINDOW.

CONSTRUCTION TYPE (CHAPTER 5):

FIRE STATION:	TYPE V-B NON RATED	12,176 GSF
STORAGE BUILDING:	TYPE V-B NON RATED	2,141 GSF

BUILDING HEIGHT (CBC 504.3)	B OCCUPANCY(S)	R-2 OCCUPANCY(S)	S-1 OCCUPANCY(S)
ALLOWED HEIGHT:	60'	60'	60'
PROPOSED:	37'	37'	37'

NO. OF STORIES (CBC 504.4):	B OCCUPANCY(S)	R-2 OCCUPANCY(S)	S-1 OCCUPANCY(S)
ALLOWABLE:	3-STORY	3-STORY	2-STORY
PROPOSED:	ONE STORY	TWO STORY	ONE STORY

EQUIPMENT PLATFORM (CBC 505)

505.3 EQUIPMENT PLATFORMS. EQUIPMENT PLATFORMS IN BUILDINGS SHALL NOT BE CONSIDERED AS A PORTION OF THE FLOOR BELOW. SUCH EQUIPMENT PLATFORMS SHALL NOT CONTRIBUTE TO EITHER THE BUILDING AREA OR THE NUMBER OF STORIES AS REGULATED BY SECTION 903.1. THE AREA OF THE EQUIPMENT PLATFORM SHALL NOT BE INCLUDED IN DETERMINING THE FIRE AREA IN ACCORDANCE WITH SECTION 903. EQUIPMENT PLATFORMS SHALL NOT BE A PART OF ANY MEZZANINE AND SUCH PLATFORMS AND THE WALKWAYS, STAIRWAYS, ALTERNATING TREAD DEVICES AND LADDERS PROVIDING ACCESS TO AN EQUIPMENT PLATFORM SHALL NOT SERVE AS A PART OF THE MEANS OF EGRESS FROM THE BUILDING.

THE EQUIPMENT PLATFORM PROVIDED IN THE APPARATUS BAY HAS A LADDER ACCESS AND DOES NOT SERVE AS A MEANS OF EGRESS FROM THE BUILDING. THE AGGREGATE AREA OF THE EQUIPMENT PLATFORM IS X WHICH IS LESS THAN 2/3RD OF THE SIZE OF THE APPARATUS BAY. IT IS SPRINKLERED PER THE REQUIREMENTS OF 505.3.2.

BUILDING AREA (CBC 506.2)	B OCCUPANCY(S)	R-2 OCCUPANCY(S)	S-1 OCCUPANCY(S)
ALLOWABLE USING SPRINKLER INCREASE (SM)	27,000 SF	21,000 SF	27,000 SF

"SM" = BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1;

AREA MODIFICATIONS (CBC 506.3):

FRONTAGE INCREASE: NOT USED

MIXED USE AND OCCUPANCY - SECTION 508

THE IMPROVEMENTS (FIRE STATION AND FUTURE STORAGE BUILDING) WAS EVALUATED UNDER SECTION 508.3. THERE ARE THREE OCCUPANCY TYPES ON THE BUILDINGS (R-2, B AND S-1). R-2 IS THE MOST RESTRICTIVE USE. THE ALLOWABLE ARE FOR THIS R-2, SPRINKLERED, IS 21,000SF. THE TOTAL SQUARE FOOTAGE OF BOTH THE FIRE STATION AND THE FUTURE STORAGE BUILDING IS 14,317SF.

PER 508.3.3. SEPARATIONS ARE NOT REQUIRED FOR NONSEPARATED OCCUPANCIES (508.3.3) EXCEPT FOR R-2 DWELLING OR SLEEPING UNITS. DWELLING OR SLEEPING UNITS SHALL BE SEPARATED FROM OTHER DWELLING UNITS OR SLEEPING UNITS AND FROM OTHER CONTIGUOUS OCCUPANCIES.

PER SECTION 420.2 SEPARATION WALLS. WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

PER SECTION 420.3 HORIZONTAL SEPARATION. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH CHAPTER 7.

PER SECTION 509. INCIDENTAL USE LAUNDRY ROOM.

FIRE PARTITIONS - SECTION 708

SEPARATION WALLS AS DEFINED IN SECTION 420 ARE CLASSIFIED AS FIRE PARTITIONS IN RESIDENTIAL OCCUPANCIES.

708.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR. EXCEPTIONS: 2. DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

THEREFORE, ALL HORIZONTAL AND VERTICAL SEPARATION WALLS ARE TO BE RATED 30MIN.

FIRE SPRINKLER SYSTEM

FULLY AUTOMATIC, MONITORED-TYPE, PER NFPA-13

VERTICAL TRANSPORTATION - LIMITED-USE/LIMITED-APPLICATION (LULA) ELEVATOR

PER CHAPTER 11B A "LULA" TYPE LIFT IS ALLOWED BECAUSE THE LIFT PROVIDES ACCESS TO AN R OCCUPANCY.

ELEVATOR SHAFTS: PER SECTION 713 SHAFTS SHALL HAVE NOT LESS THAN 1 HOUR RATING WHERE CONNECTING LESS THAN FOUR STORIES.

OCCUPANT LOAD BASIS BY FUNCTION OF SPACE PER CBC TABLE 1004.5

SLEEPING UNIT, KITCHEN, DAYROOM, LOCKER ROOMS, DINING ROOMS	RESIDENTIAL FUNCTION AT 200 GSF/PERSON
OFFICE, LOBBY	BUSINESS FUNCTION AT 150 GSF/PERSON
FITNESS	EXERCISE FUNCTION AT 50 GSF/PERSON
APPARATUS BAY	PARKING FUNCTION AT 200 GSF/PERSON
STORAGE/MECHANICAL	ACCESSORY/STORAGE FUNCTION AT 300 GSF/PERSON
STORAGE BUILDING	PARKING FUNCTION AT 200 GSF/PERSON

LEGEND:  
AU = ACCESSORY USE  
GSF = GROSS SF/PERSON  
NSF = NET SF/PERSON

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CITY OF RANCHO  
CUCAMONGA

FIRE STATION  
178

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:

CODE ANALYSIS,  
PLAN & DIAGRAM -  
FIRST FLOOR

project no.:

2811.01

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A-0.1

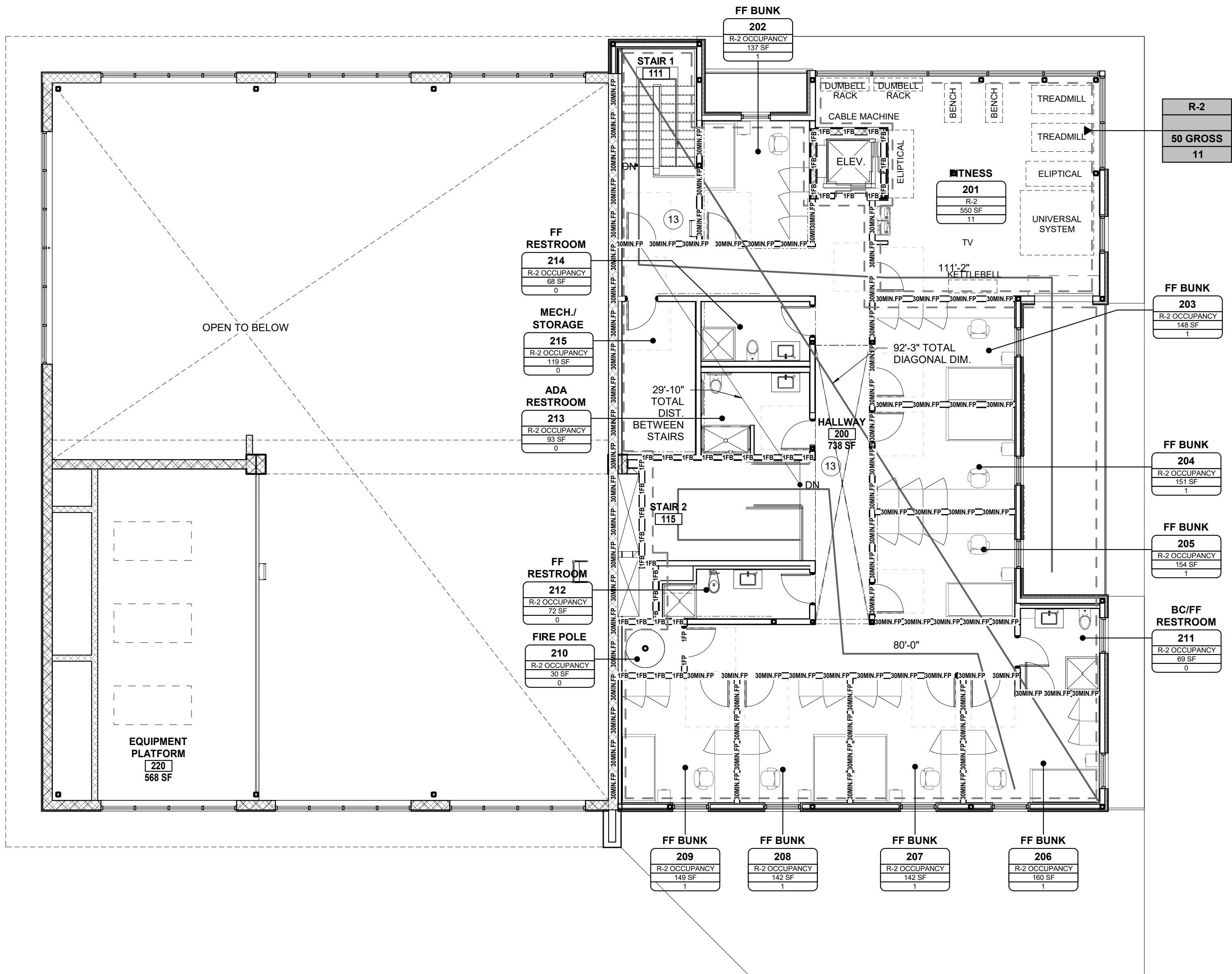
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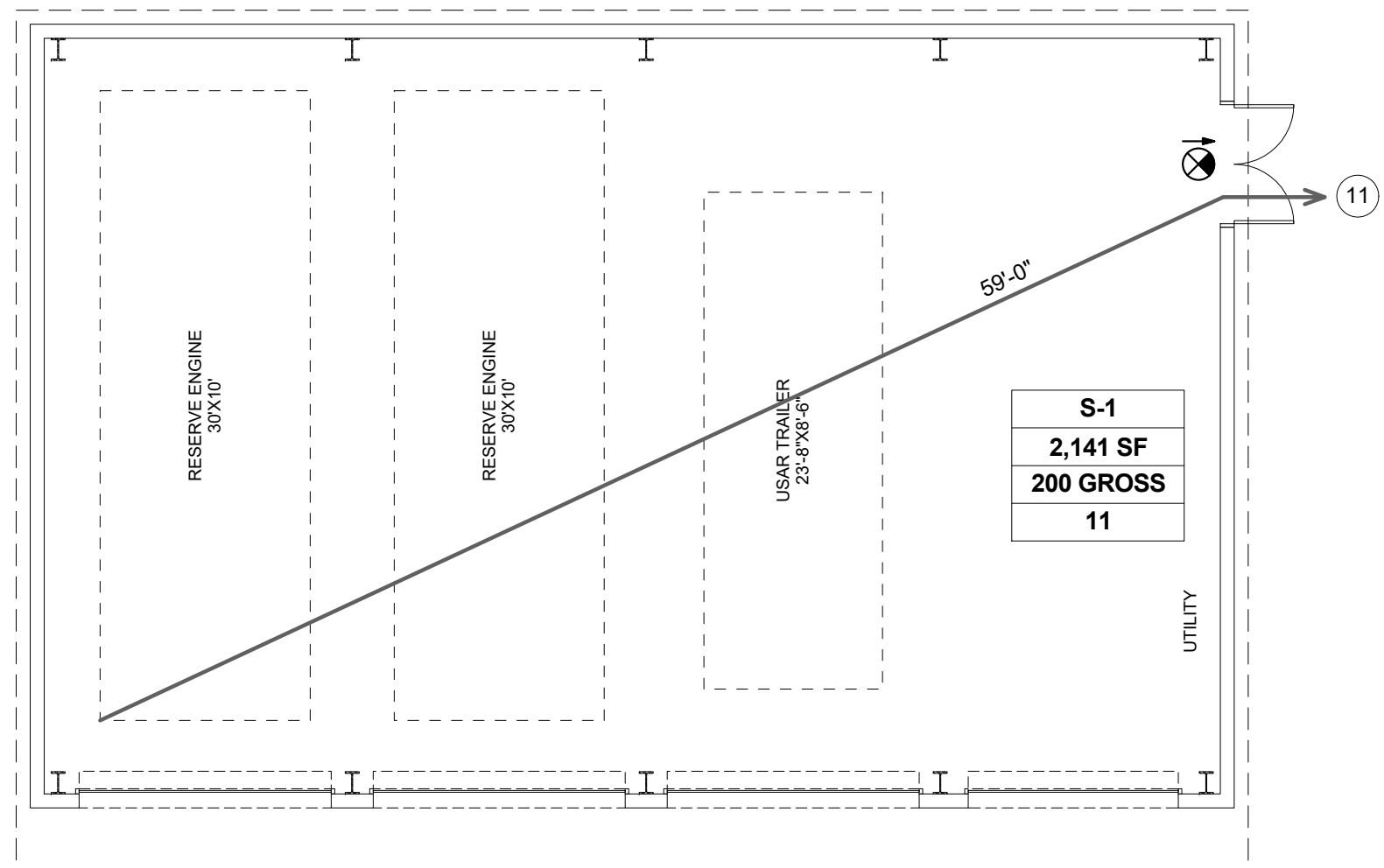
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2 SECOND FLOOR CODE PLAN  
1/8" = 1'-0"



1 STORAGE BUILDING CODE PLAN  
1/8" = 1'-0"



LEGEND - CODE

- 1 LENGTH — PATH OF TRAVEL DISTANCE  
PATH OF TRAVEL LINE/DIRECTION  
NUMBER OF OCCUPANTS
- B OCCUPANCY  
--- R-2 OCCUPANCY  
--- S-1 OCCUPANCY
- 30MIN FP 30MIN FP 30MIN FP FIRE PARTITION (CBC 420.2 & 708.1-1  
30 MIN. SEPARATION PER 708.3  
(30 MIN. SEPARATION IS ALLOWED W/  
SPRINKLER SYSTEM)
- 1FB 1FB 1FB 1FB FIRE BARRIER 1-HR. RATING  
(CBC CHAPTER 713 - SHAFT ENCLOSURE)
- SP SP SP SP INCIDENTAL USE SMOKE PARTITION
- 0 TACTILE "EXIT" SIGN  
★ TACTILE "EXIT ROUTE" SIGN  
ILLUMINATED EXIT SIGN W/  
DIRECTION INDICATOR
- B → OCCUPANCY CLASSIFICATION  
180 SF → OCCUPANCY AREA  
150 GROSS → OCCUPANCY LOAD FACTOR  
1 → OCCUPANT LOAD
- OFFICE → ROOM NAME  
101 → ROOM NUMBER  
B OCCUPANCY → OCCUPANCY CLASSIFICATION  
180 SF → ROOM AREA  
1 → OCCUPANT LOAD

NOTE:  
ROOMS LISTED WITH ZERO OCCUPANT LOAD ARE  
UNOCCUPIED ACCESSORY AREAS INCLUDING  
CORRIDORS, STAIRWAYS, TOILET ROOMS,  
MECHANICAL ROOMS OR MECHANICAL CLOSET

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CODE ANALYSIS,  
PLAN & DIAGRAM -  
SECOND FLOOR

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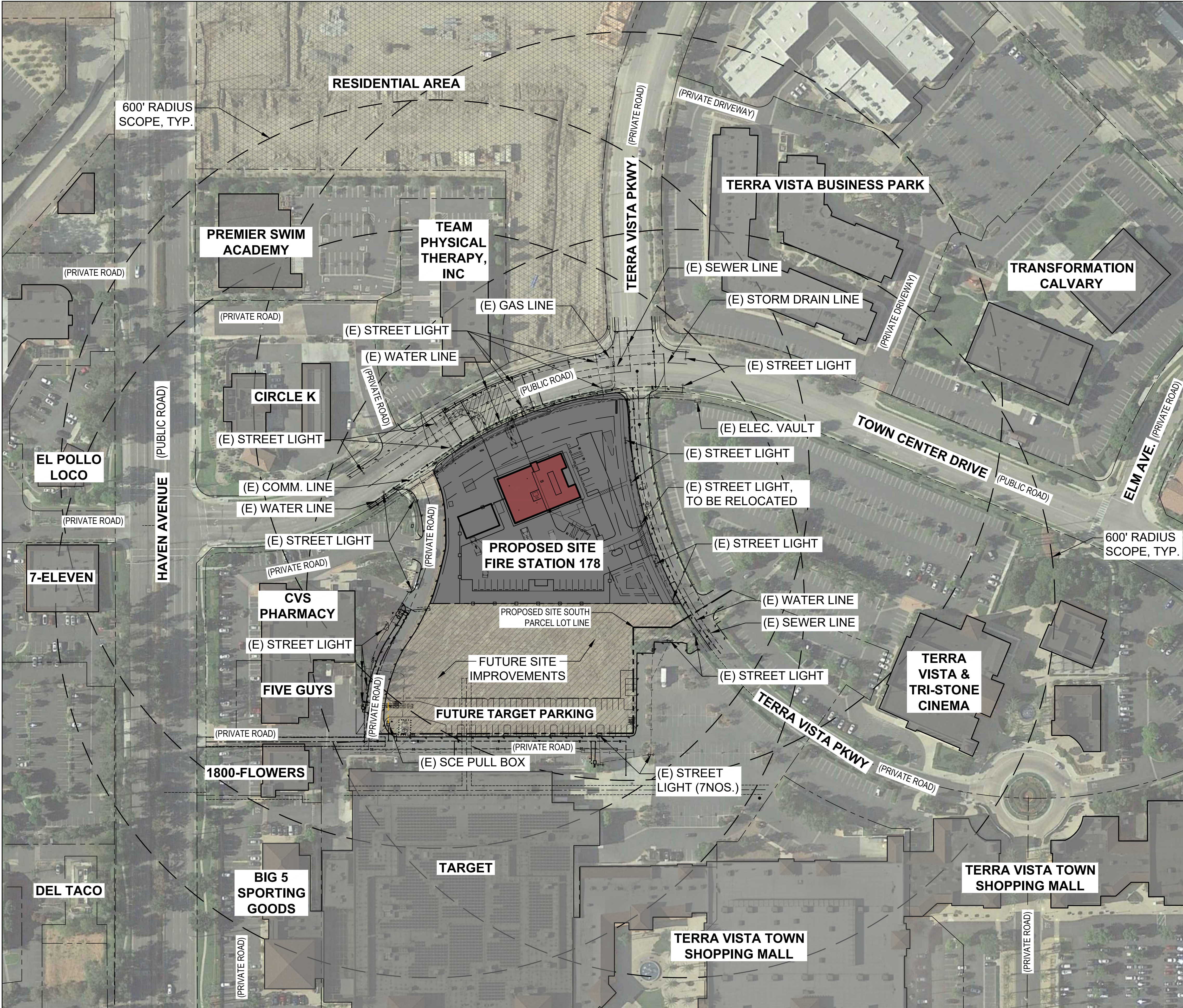
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ZONING LEGEND:

- RESIDENTIAL AREA
- COMMERCIAL AREA
- EXISTING COMMERCIAL BUILDING
- COMMUNITY COMMERCIAL (PROPOSED FIRE STATION 178 SITE) PARCEL # 1077423010000
- PROPOSED FIRE STATION 178 BUILDING
- FUTURE SITE IMPROVEMENTS
- 600' RAD. SCOPE
- PARCEL LOT LINE

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RANCHO CUCAMONGA FIRE

CITY OF RANCHO CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730

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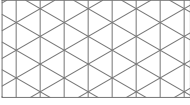



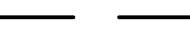
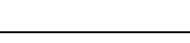
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**ZONING LEGEND:**

-  RESIDENTIAL
-  COMMERCIAL
-  COMMUNITY COMMERCIAL (PROPOSED FIRE STATION 178 SITE) PARCEL # 1077423010000
-  FUTURE SITE IMPROVEMENTS
-  200' RAD. SCOPE
-  PARCEL LOT LINE

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**CITY OF RANCHO  
CUCAMONGA**

**FIRE STATION 178**

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

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**SITE PLAN -  
200' RADIUS**

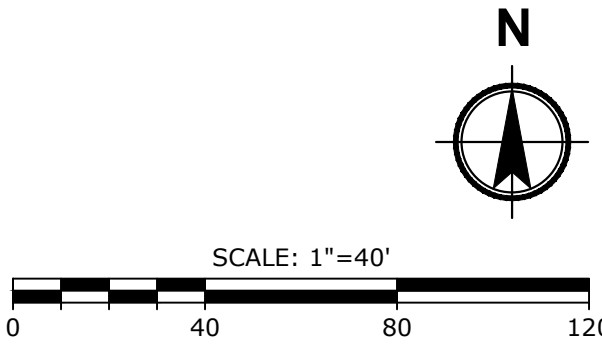
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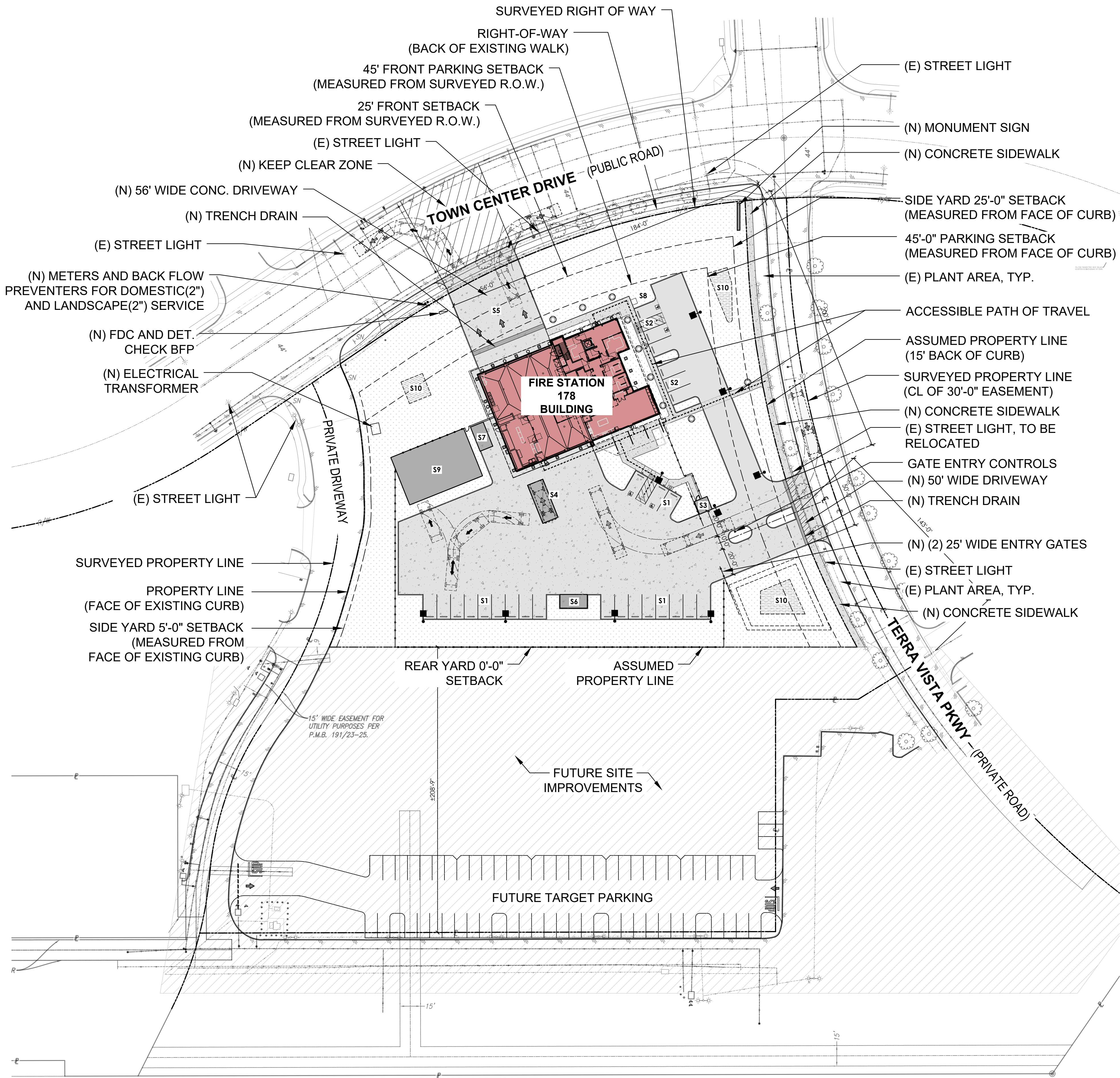
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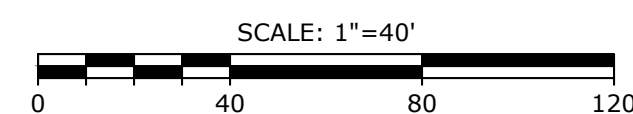




**1** ARCHITECTURAL SITE PLAN  
1" = 40'

**LEGEND:**

- NEW STRUCTURE & SITE SUPPORT SPACES**
- S1** FIRE DEPARTMENT PARKING (20 SPACES WITH ACCESSIBLE)
  - S2** VISITOR PARKING SPACES (6 SPACES WITH ACCESSIBLE)
  - S3** TRASH ENCLOSURE
  - S4** VEHICLE WASH DOWN AREA
  - S5** CONCRETE FRONT APRON
  - S6** FIRE HYDRANT AREA
  - S7** GENERATOR PAD
  - S8** FLAG POLE
  - S9** FUTURE PRE-ENGINEERED METAL STORAGE BUILDING
  - S10** SITE DRAIN MANAGEMENT AREA
- (N) FENCE LINE
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC RIGHT-OF-WAY
- FUTURE SITE IMPROVEMENTS
- (N) LANDSCAPE AREA
- (N) CONCRETE SIDEWALK/PAVEMENT
- (N) BIO-RETENTION AREA
- (N) ASPHALT PAVING
- (N) PARKING LOT LIGHT FIXTURE, TYP.
- (N) BOLLARD LIGHT FIXTURE, TYP.




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**CITY OF RANCHO CUCAMONGA**  
**FIRE STATION 178**

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730

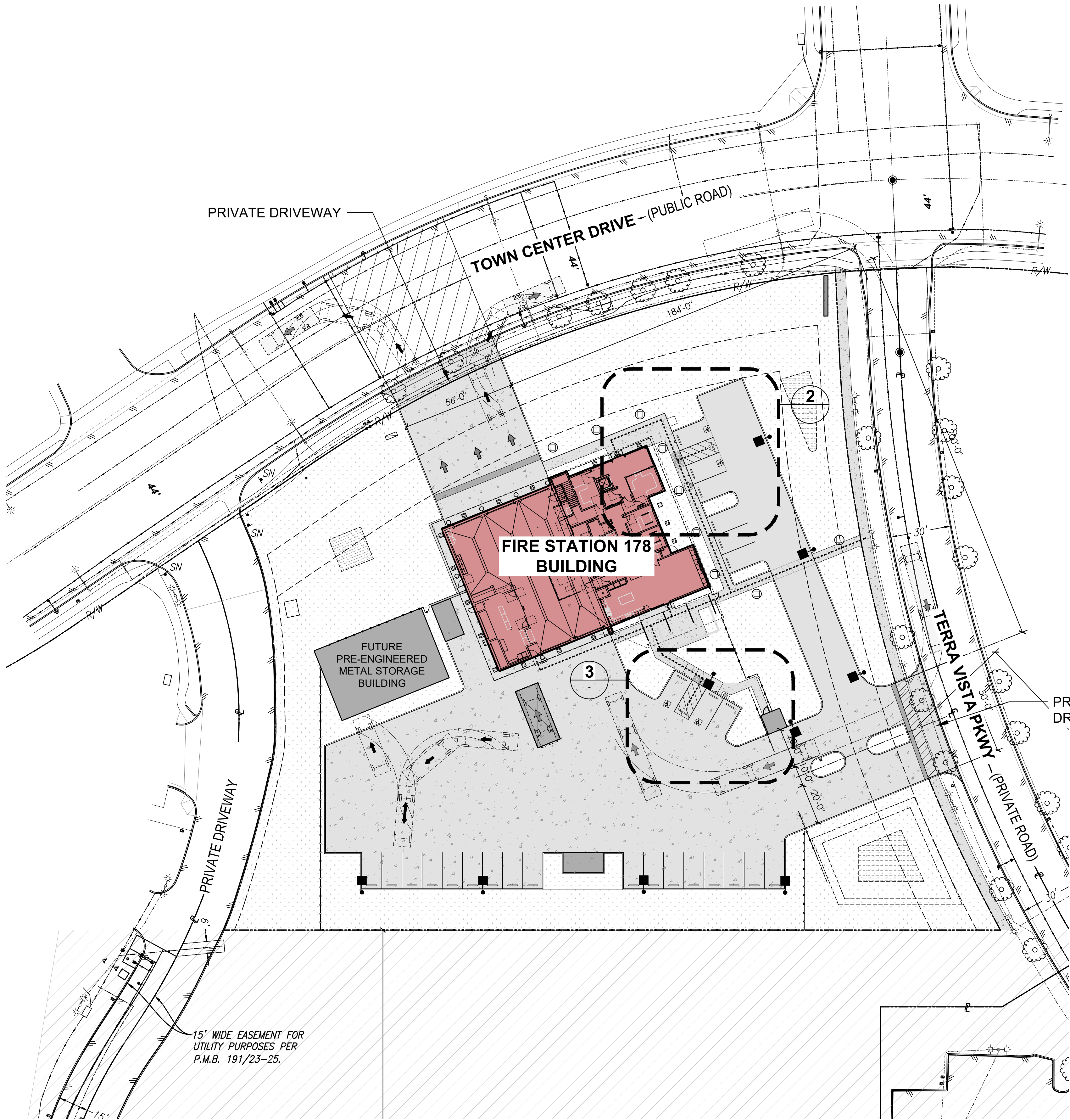
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**ARCHITECTURAL SITE PLAN**

project no.: **2811.01**

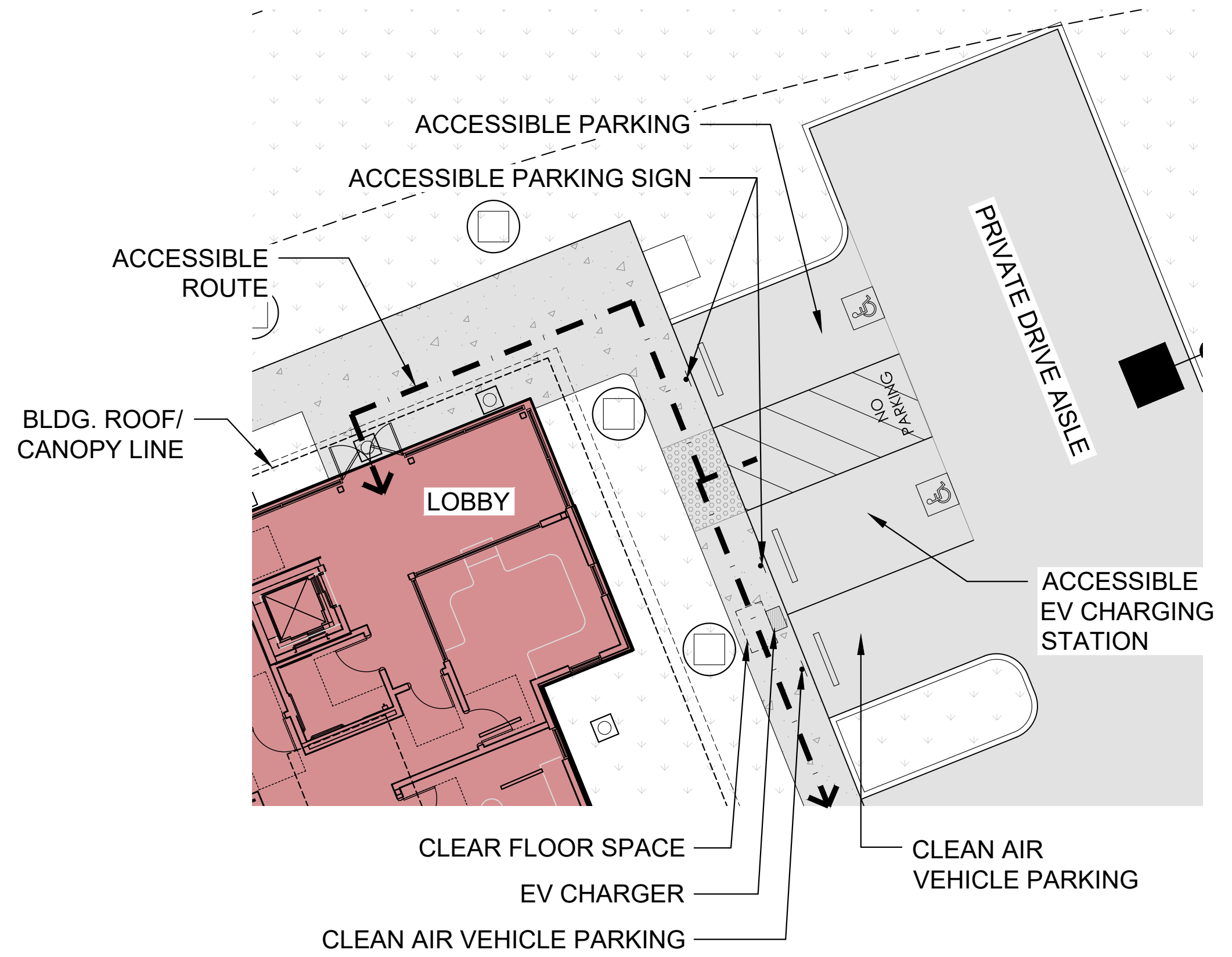
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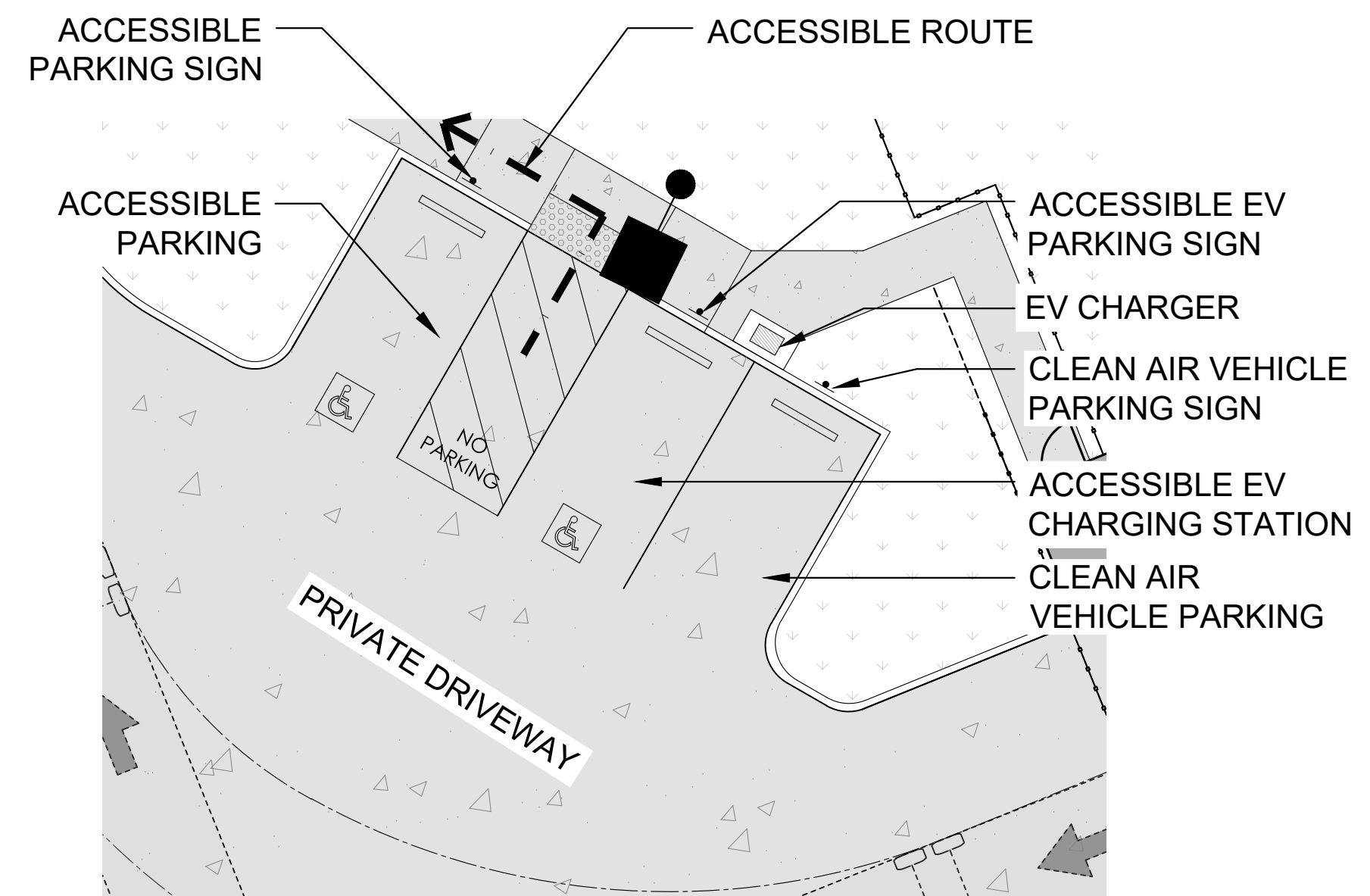




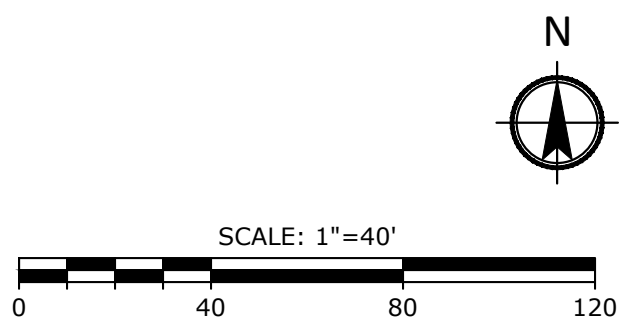
1 SITE PLAN - DRIVEWAY CRITERIA  
1" = 30'



2 PUBLIC PARKING AREA (EV CHARGING STATION)  
1" = 10'



3 F.D. PARKING AREA (EV CHARGING STATION)  
1" = 10'



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CUCAMONGA**

**FIRE STATION 178**

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:  
**SITE PLAN DRIVEWAY  
CRITERIA & EV  
CHARGER PARKING  
SPACES**

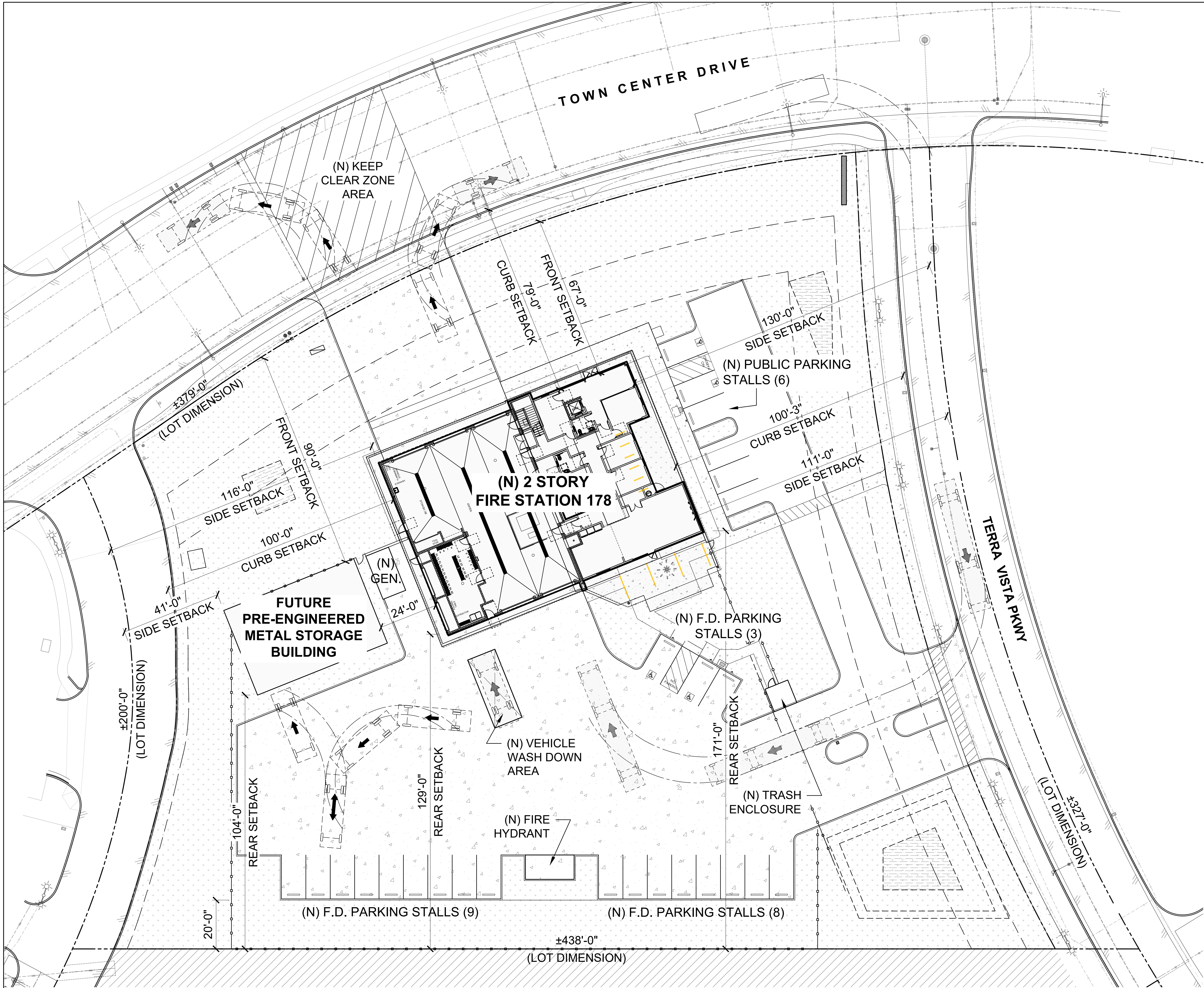
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sheet no.:  
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SITE LEGEND:

- FUTURE SITE IMPROVEMENTS
- (N) LANDSCAPE AREA
- (N) CONCRETE SIDEWALK/PAVEMENT
- (N) BIO-RETENTION AREA
- (N) ASPHALT PAVING
- (N) FENCE LINE
- PROPERTY LINE

architect:



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**CITY OF RANCHO  
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**FIRE STATION 178**

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drawing title:

**DIMENSIONED  
SITE PLAN**

project no.:

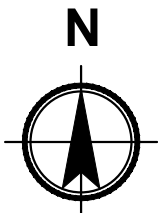
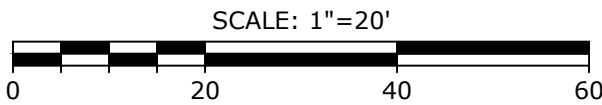
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**A-1.3**

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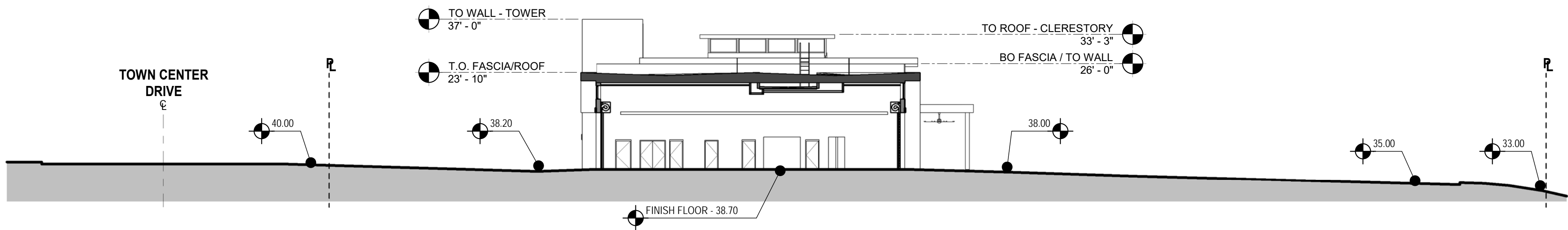
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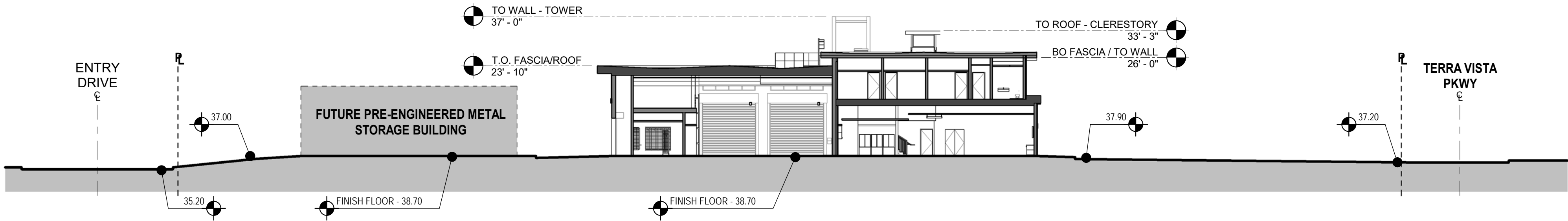
**1** ENLARGED SITE PLAN  
1" = 10'

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2 SITE SECTION - NORTH TO SOUTH VIEW  
1" = 20'-0"



1 SITE SECTION - WEST TO EAST VIEW  
1" = 20'-0"

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CUCAMONGA

FIRE STATION  
178

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:

SITE  
CROSS-SECTIONS

project no.:

2811.01

sheet no.:

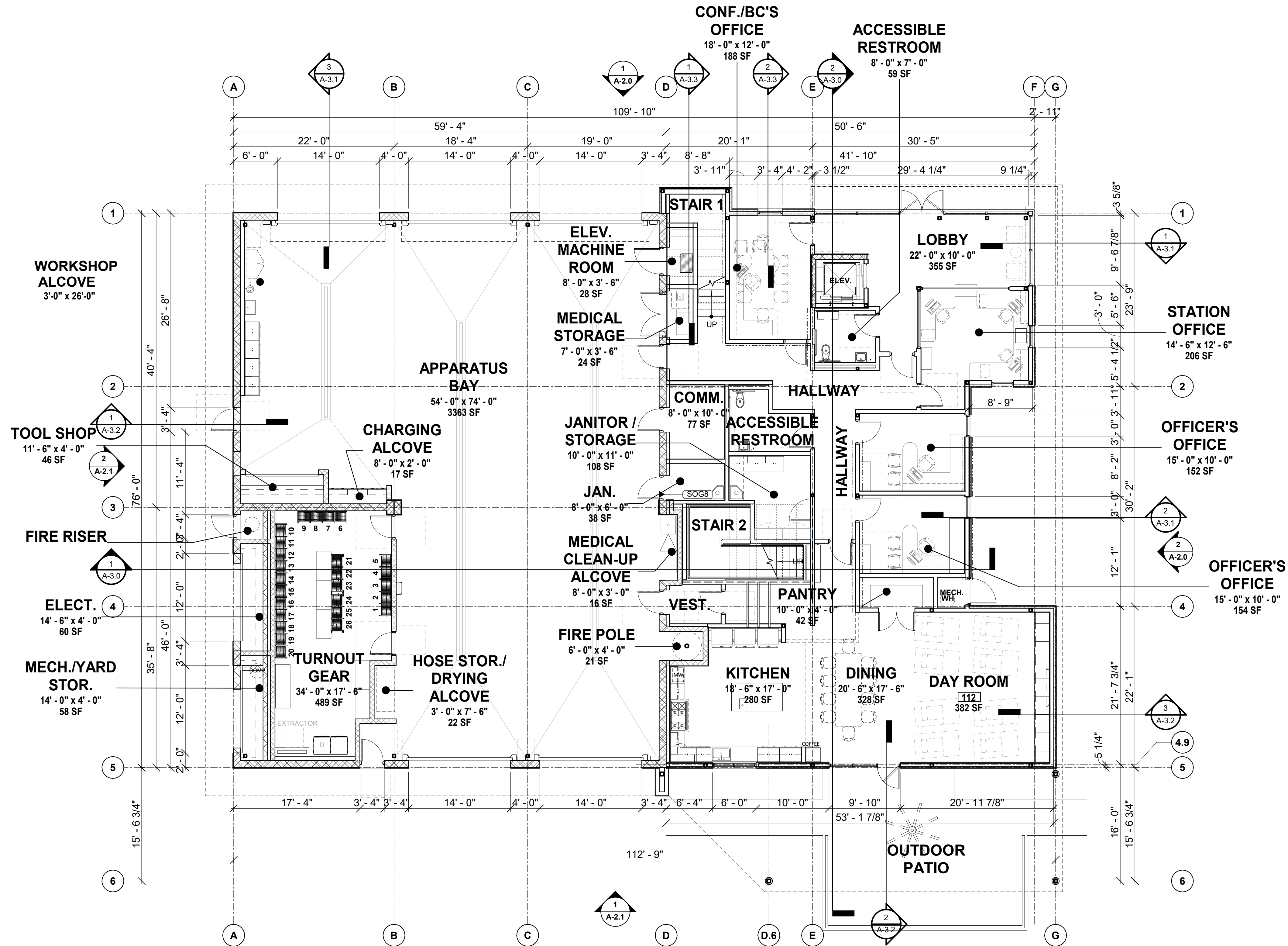
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**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"

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**CITY OF RANCHO  
CUCAMONGA**

**FIRE STATION  
178**

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:

**FIRST FLOOR PLAN**

project no.:

**2811.01**

sheet no.:

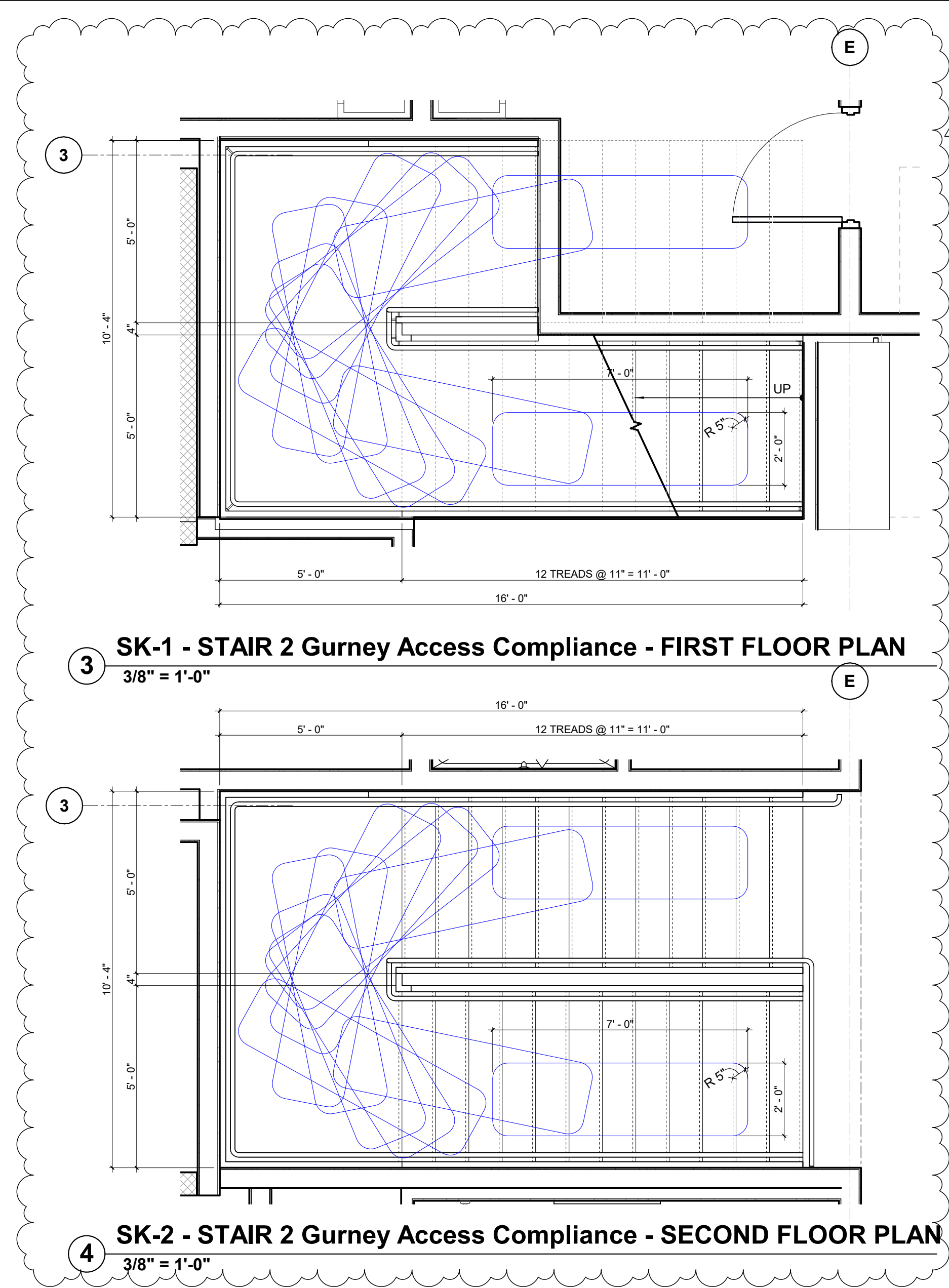
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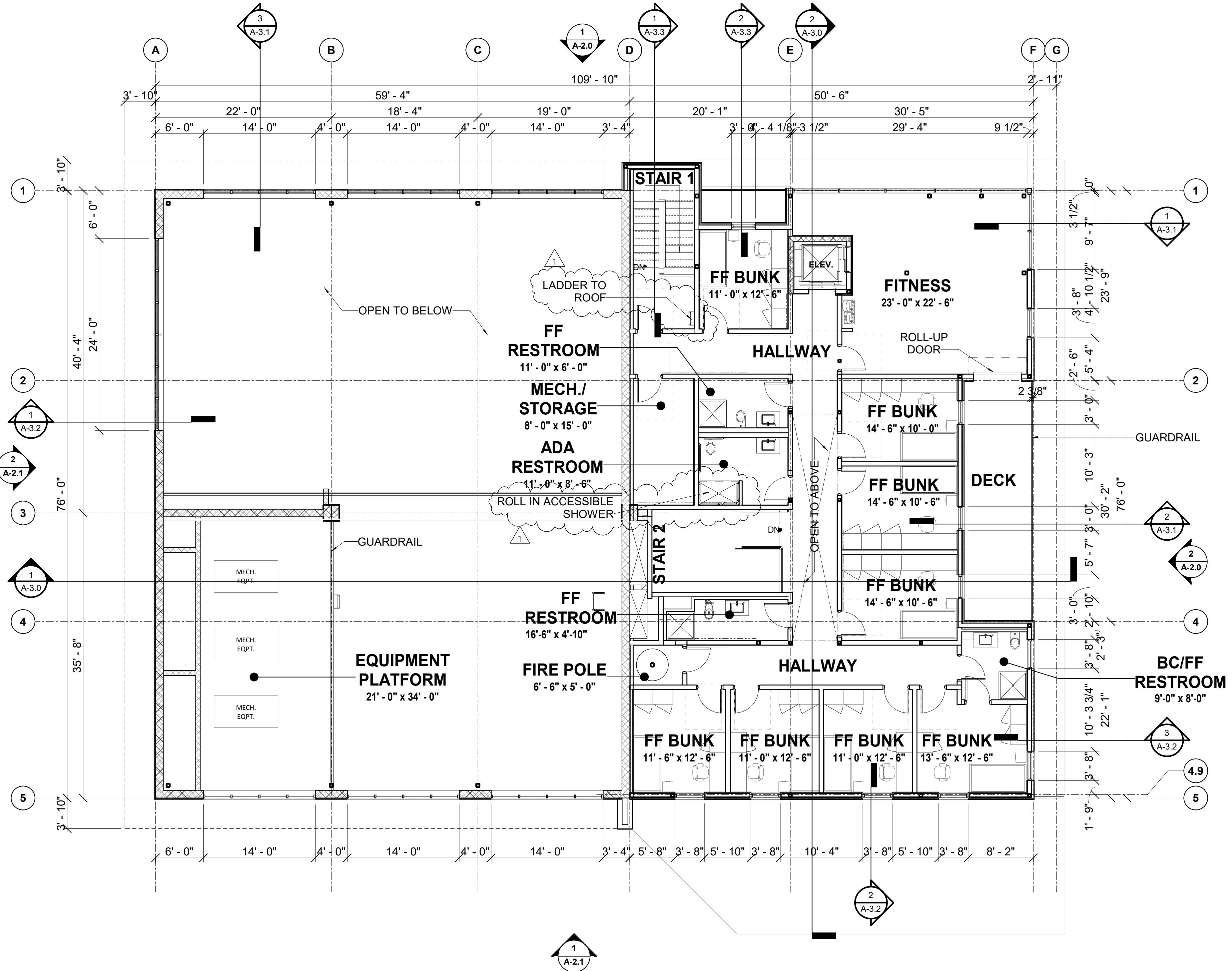
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2 CLERESTORY FLOOR PLAN  
1/8" = 1'-0"



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

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CITY OF RANCHO  
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FIRE STATION  
178

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
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drawing title:

SECOND FLOOR  
PLAN AND  
CLERESTORY PLAN

project no.:

2811.01

sheet no.:

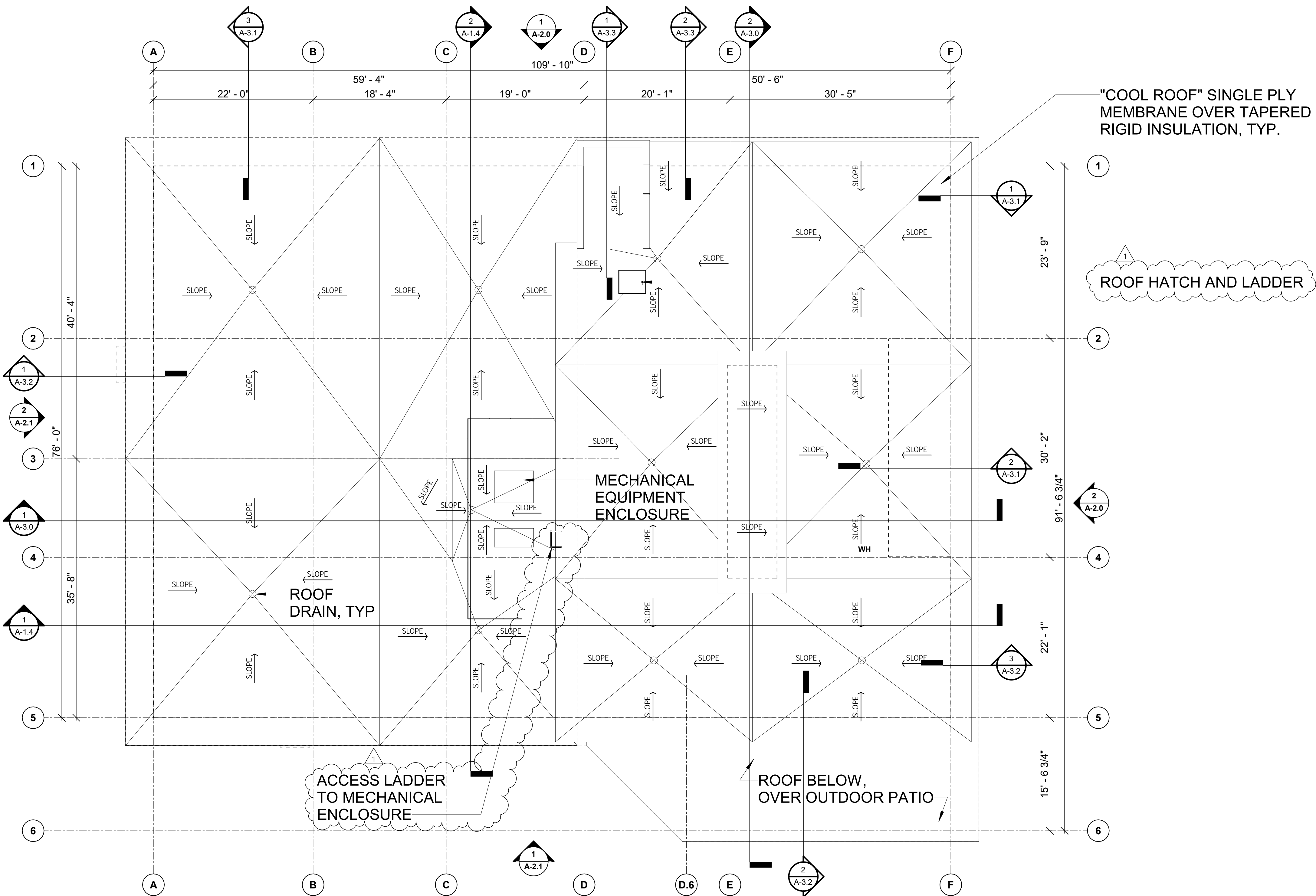
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**1 ROOF PLAN**  
1/8" = 1'-0"

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CUCAMONGA**

**FIRE STATION  
178**

**TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730**

drawing title:

**ROOF PLAN**

project no.:

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sheet no.:

**A-1.7**

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1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

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CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:  
FIRE STATION BLDG.  
EXTERIOR  
ELEVATIONS

project no.:  
2811.01

sheet no.:  
A-2.0

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1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

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RANCHO CUCAMONGA  
FIRE  
CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:  
FIRE STATION BLDG.  
EXTERIOR  
ELEVATIONS

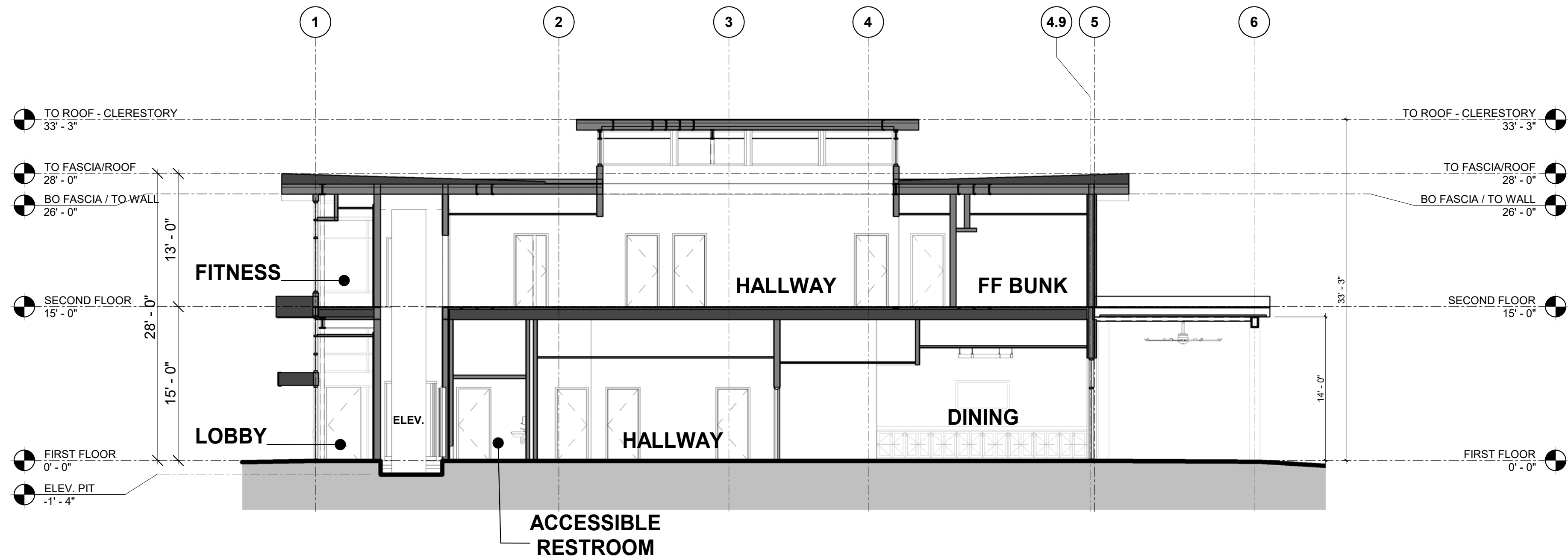
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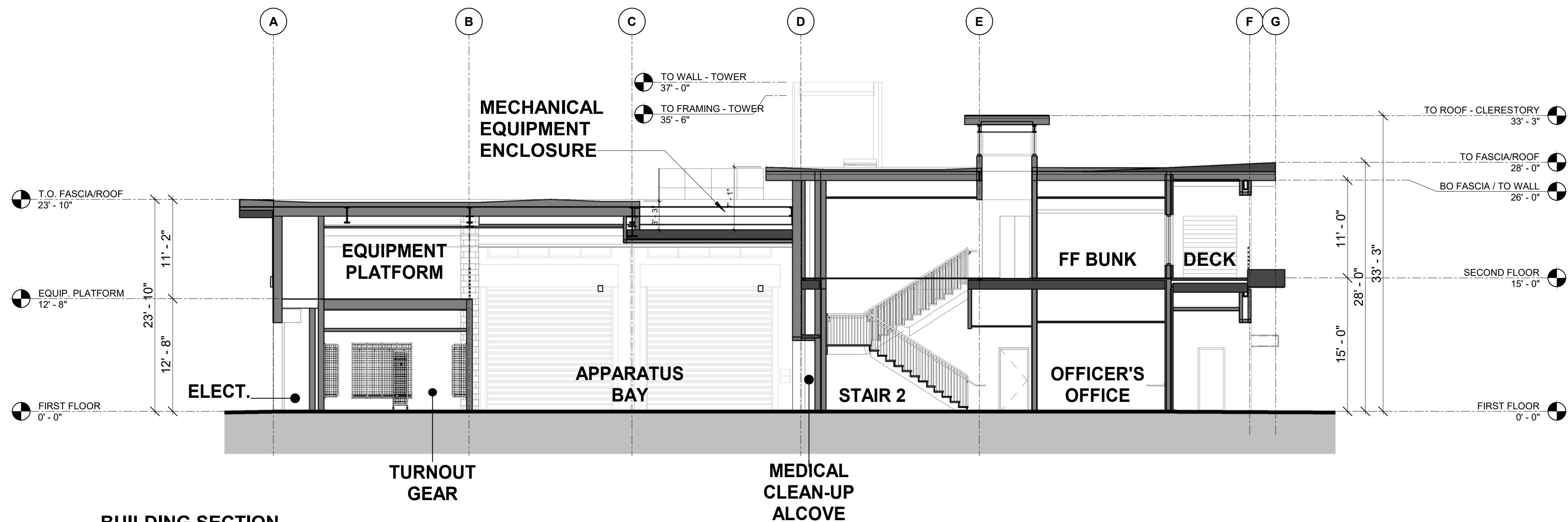
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**2 BUILDING SECTION**  
1/8" = 1'-0"



**1 BUILDING SECTION**  
1/8" = 1'-0"

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**CITY OF RANCHO  
CUCAMONGA**

**FIRE STATION  
178**

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:  
**BUILDING SECTIONS**

project no.:  
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sheet no.:  
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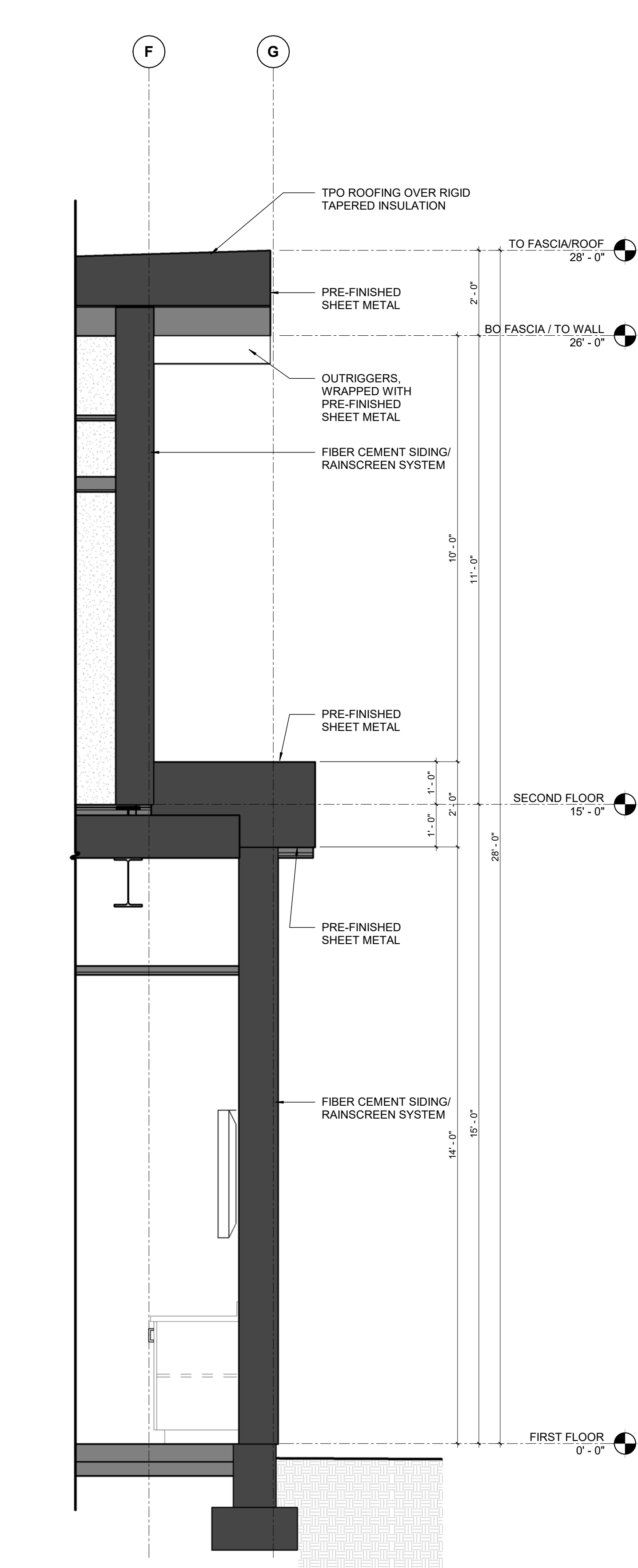




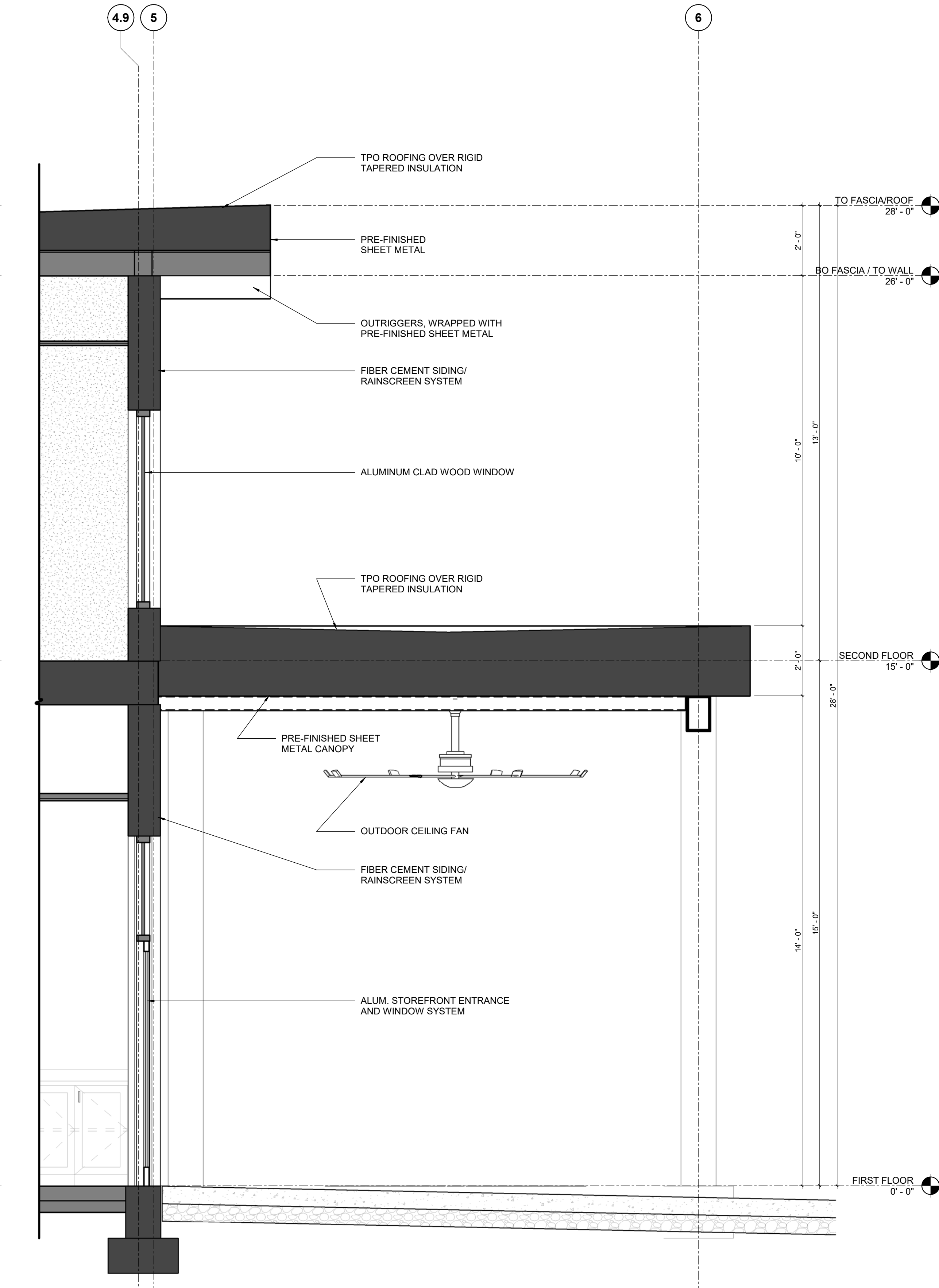
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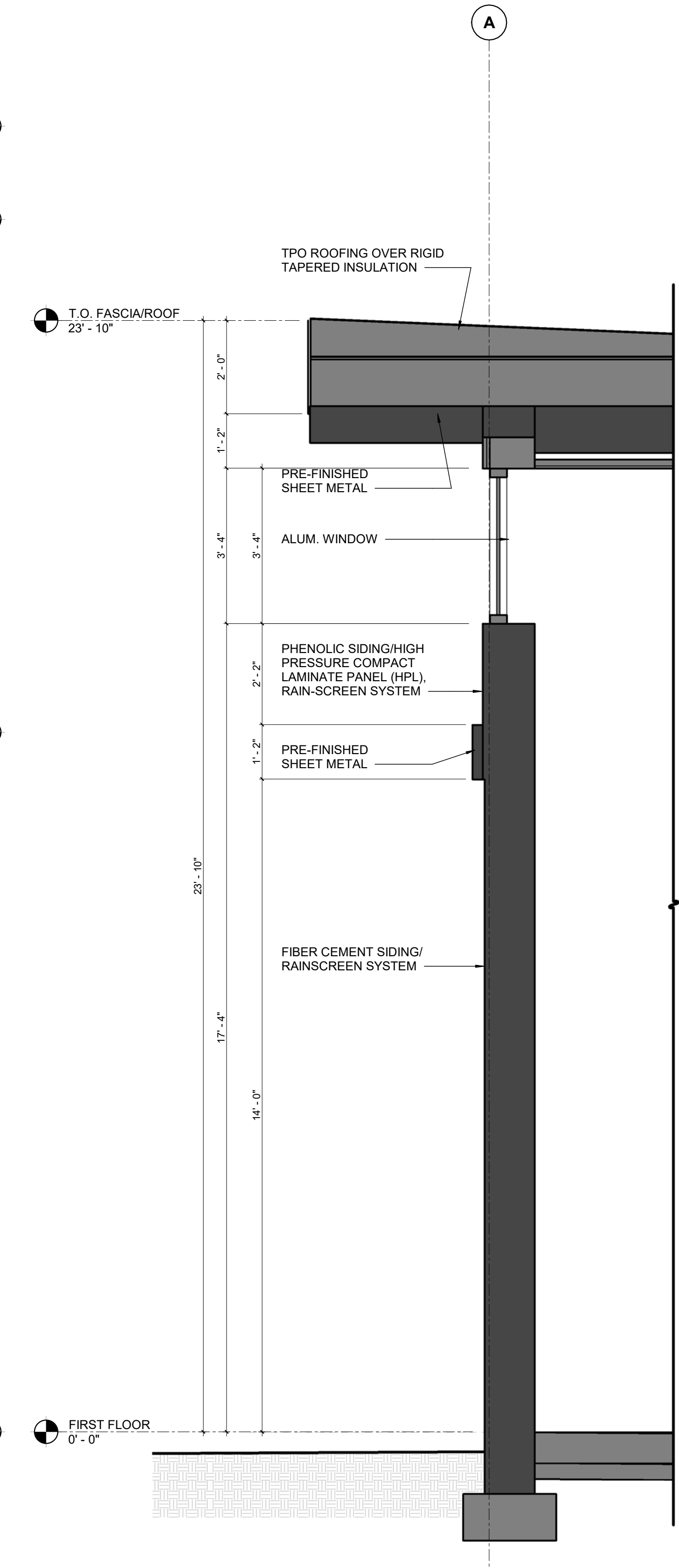




3 WALL SECTION @ DAY ROOM & BUNK  
1/2" = 1'-0"



2 PLANNING - WALL SECTION @ SOUTH CANOPY  
1/2" = 1'-0"



1 WALL SECTION @ APPARATUS BAY WEST WALL  
1/2" = 1'-0"

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CITY OF RANCHO  
CUCAMONGA

FIRE STATION  
178

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:

WALL SECTIONS

project no.:

2811.01

sheet no.:

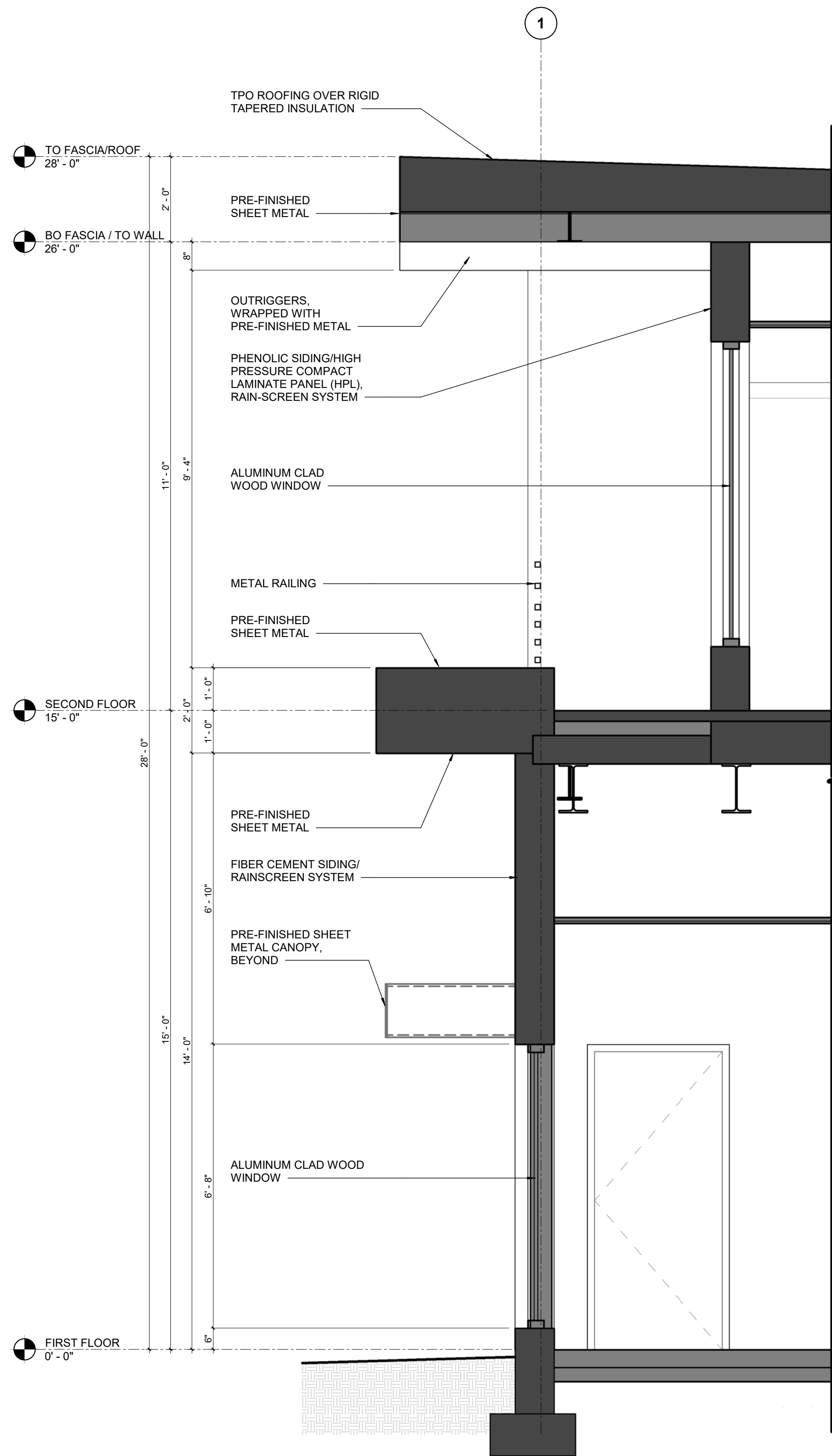
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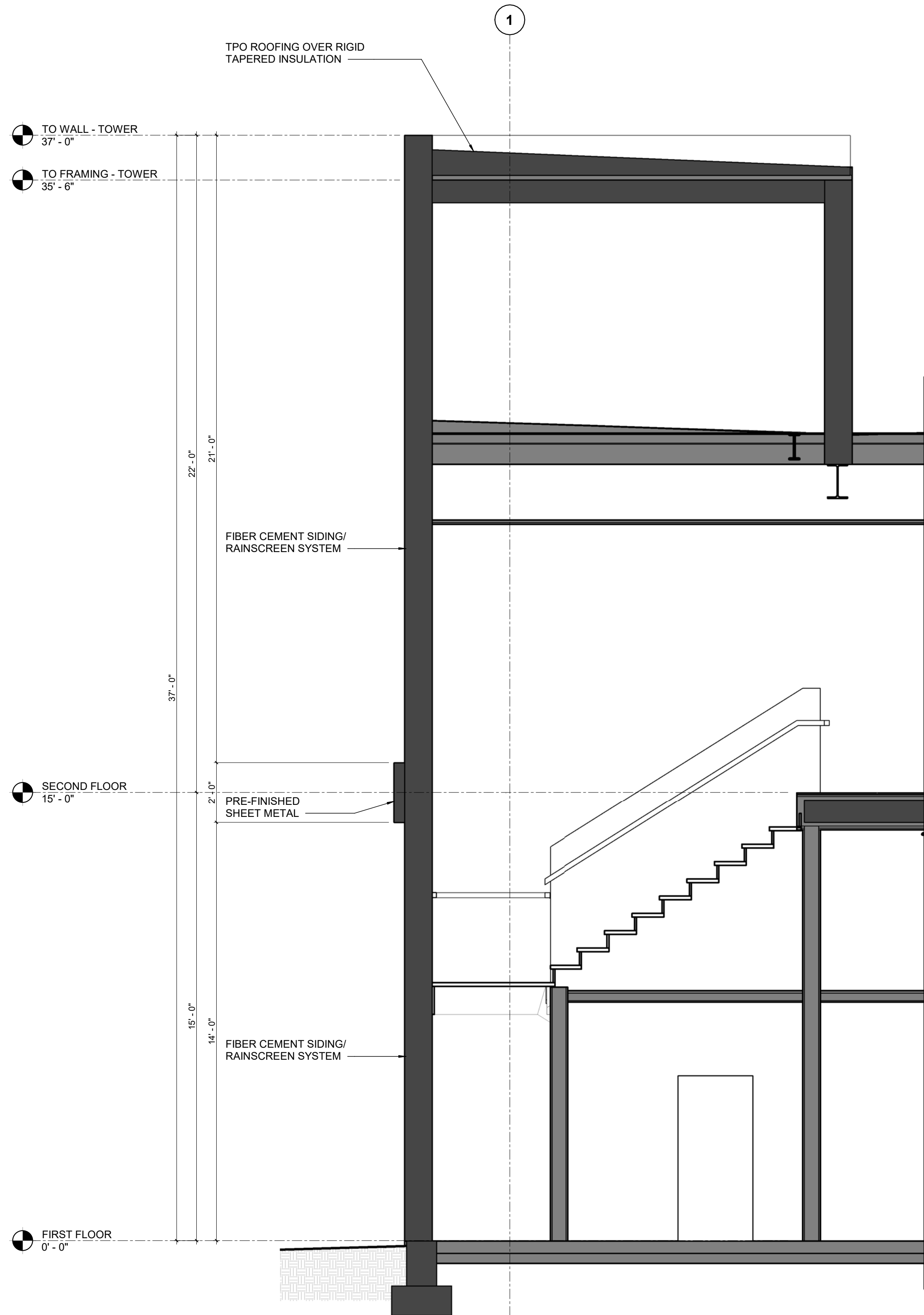
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**2** PLANNING - WALL SECTION @ CONFERENCE & BUNK  
1/2" = 1'-0"



**1** WALL SECTION @ TOWER  
3/8" = 1'-0"

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**CITY OF RANCHO  
CUCAMONGA**

**FIRE STATION  
178**

TOWN CENTER DR.  
RANCHO CUCAMONGA, CA  
91730

drawing title:  
**WALL SECTIONS**

project no.:  
**2811.01**

sheet no.:

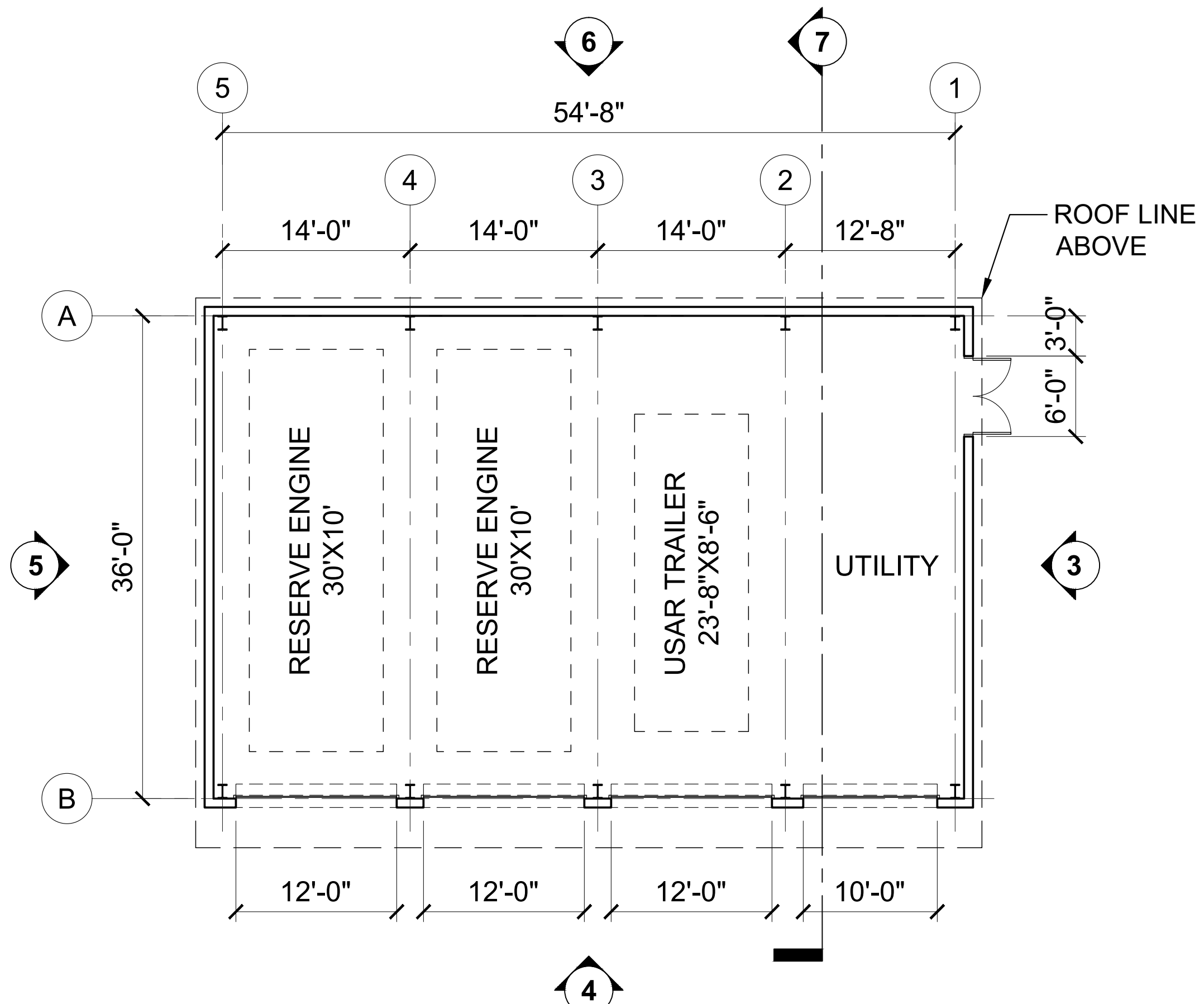
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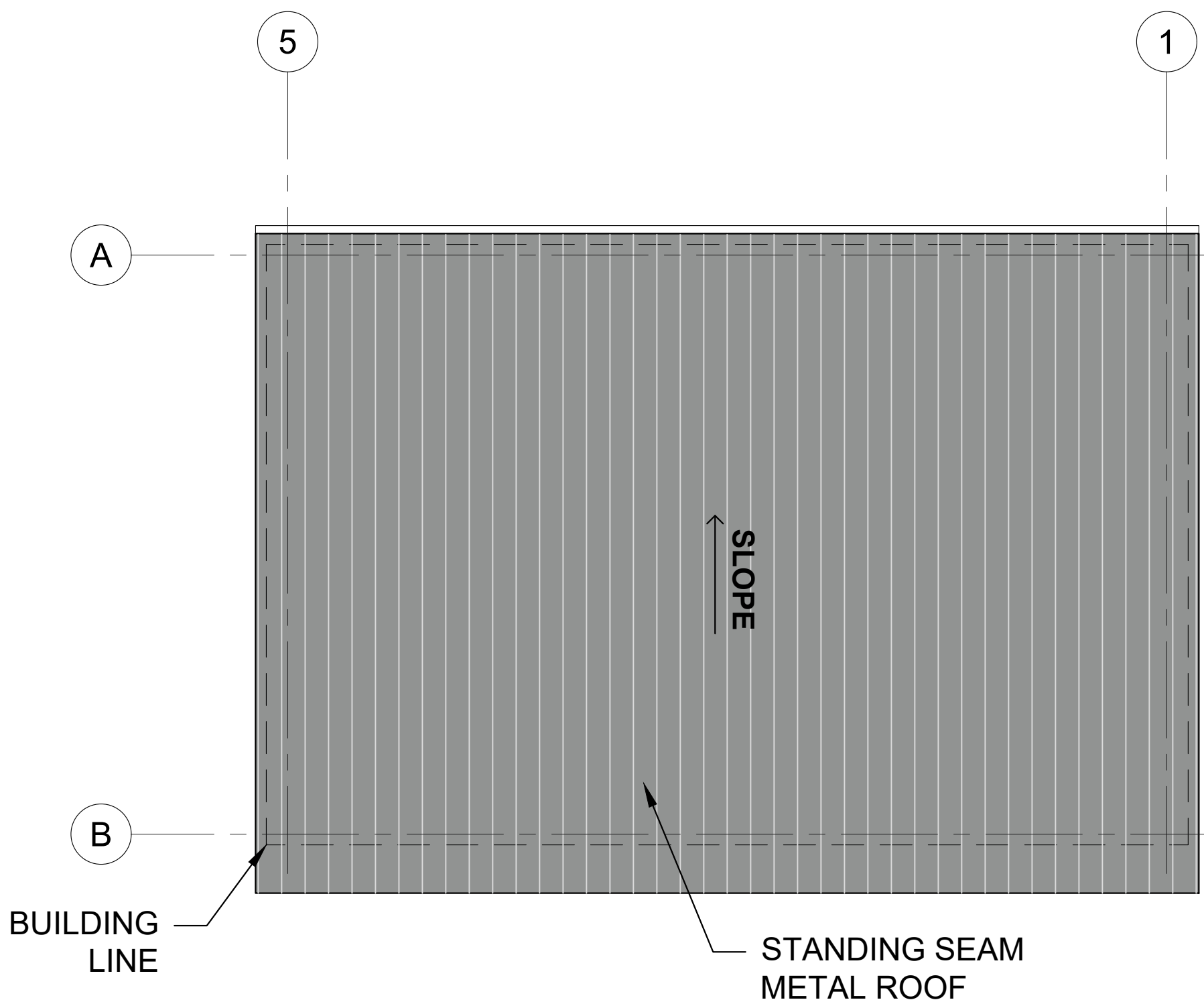
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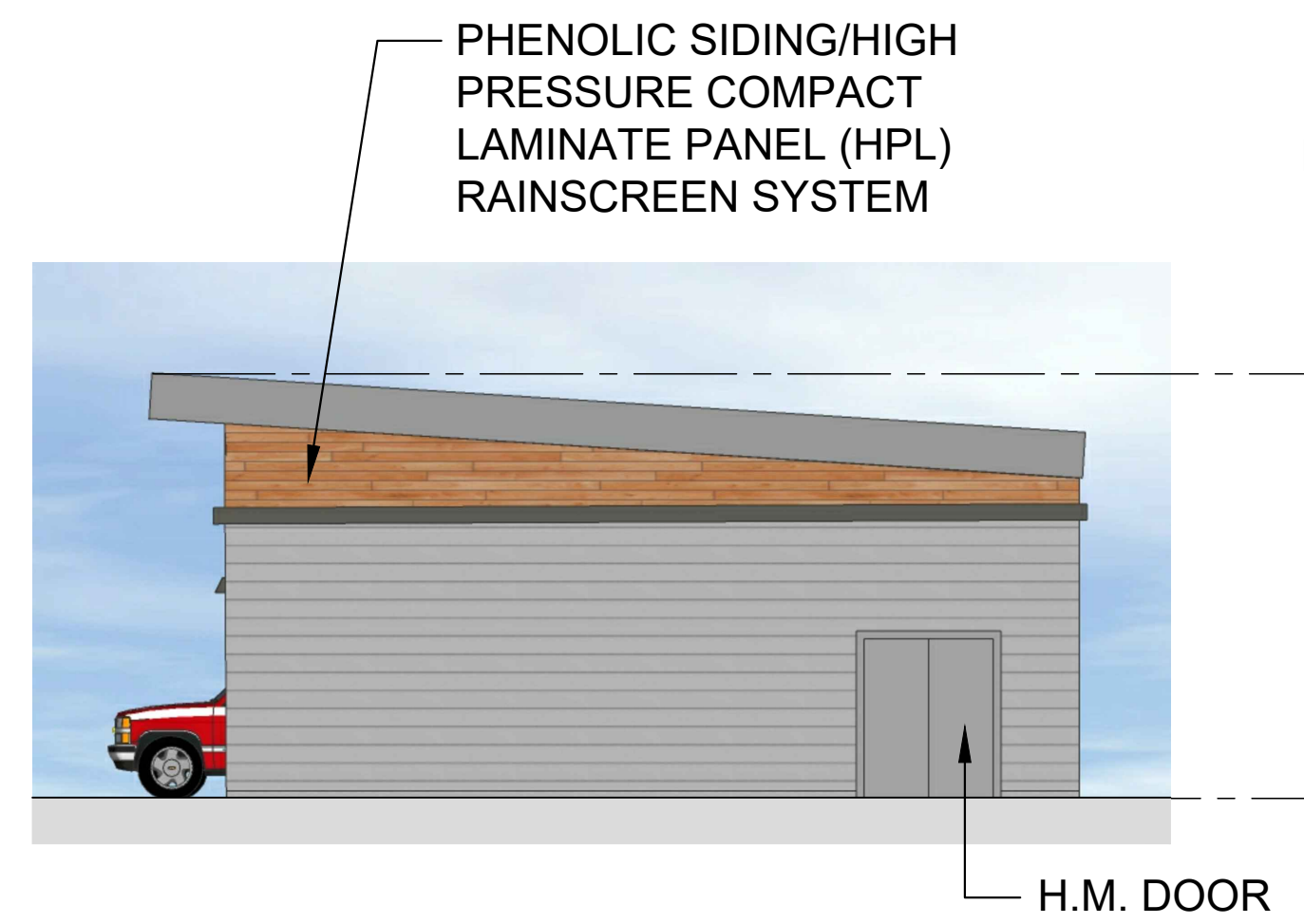




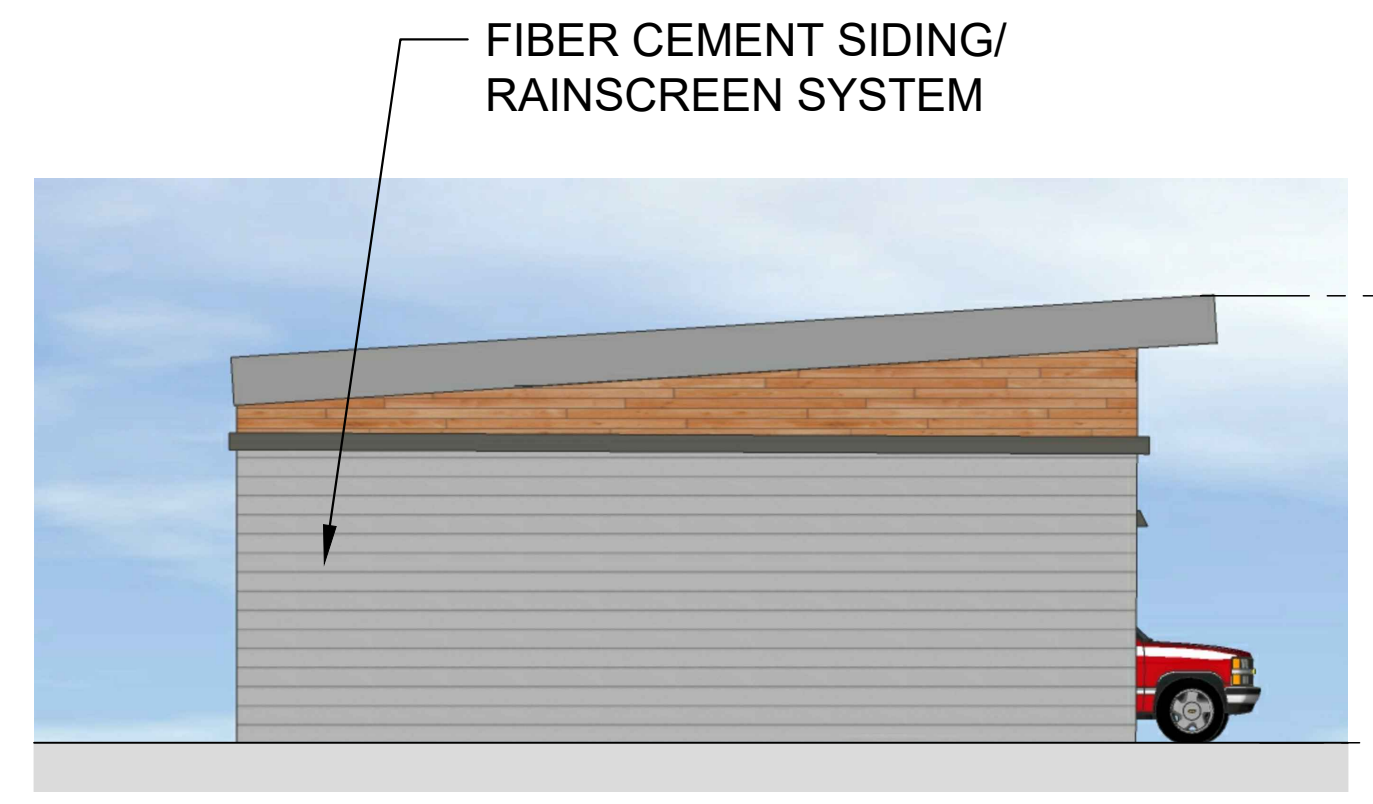
1 FLOOR PLAN  
1/8" = 1'-0"



2 ROOF PLAN  
1/8" = 1'-0"



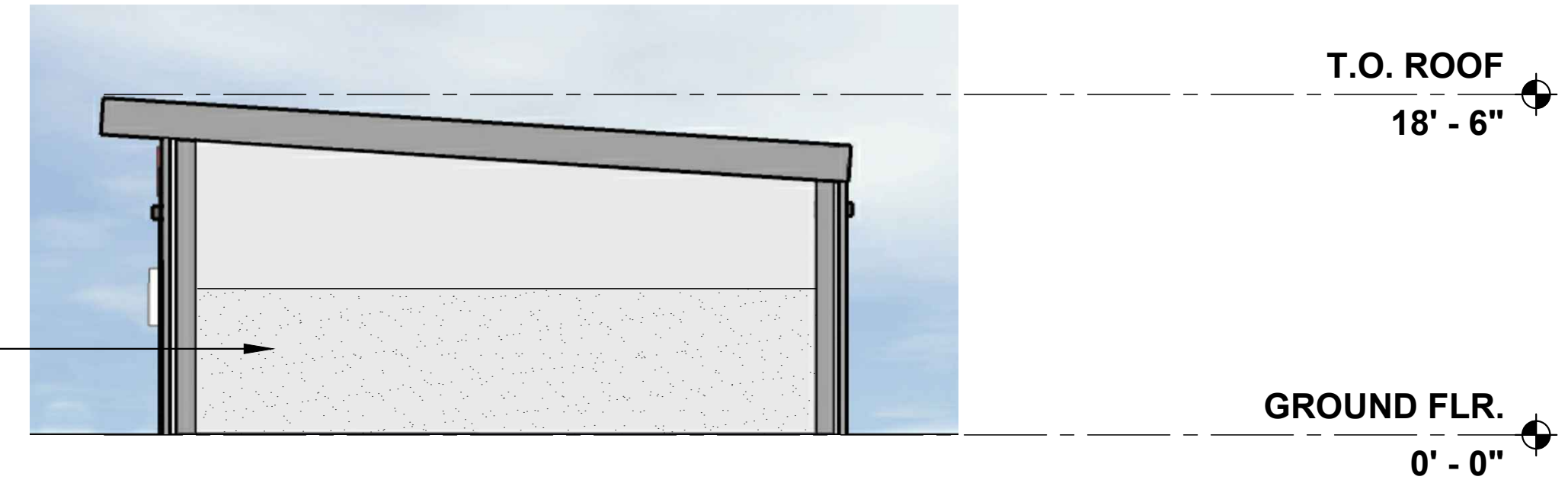
3 EAST ELEVATION  
1/8" = 1'-0"



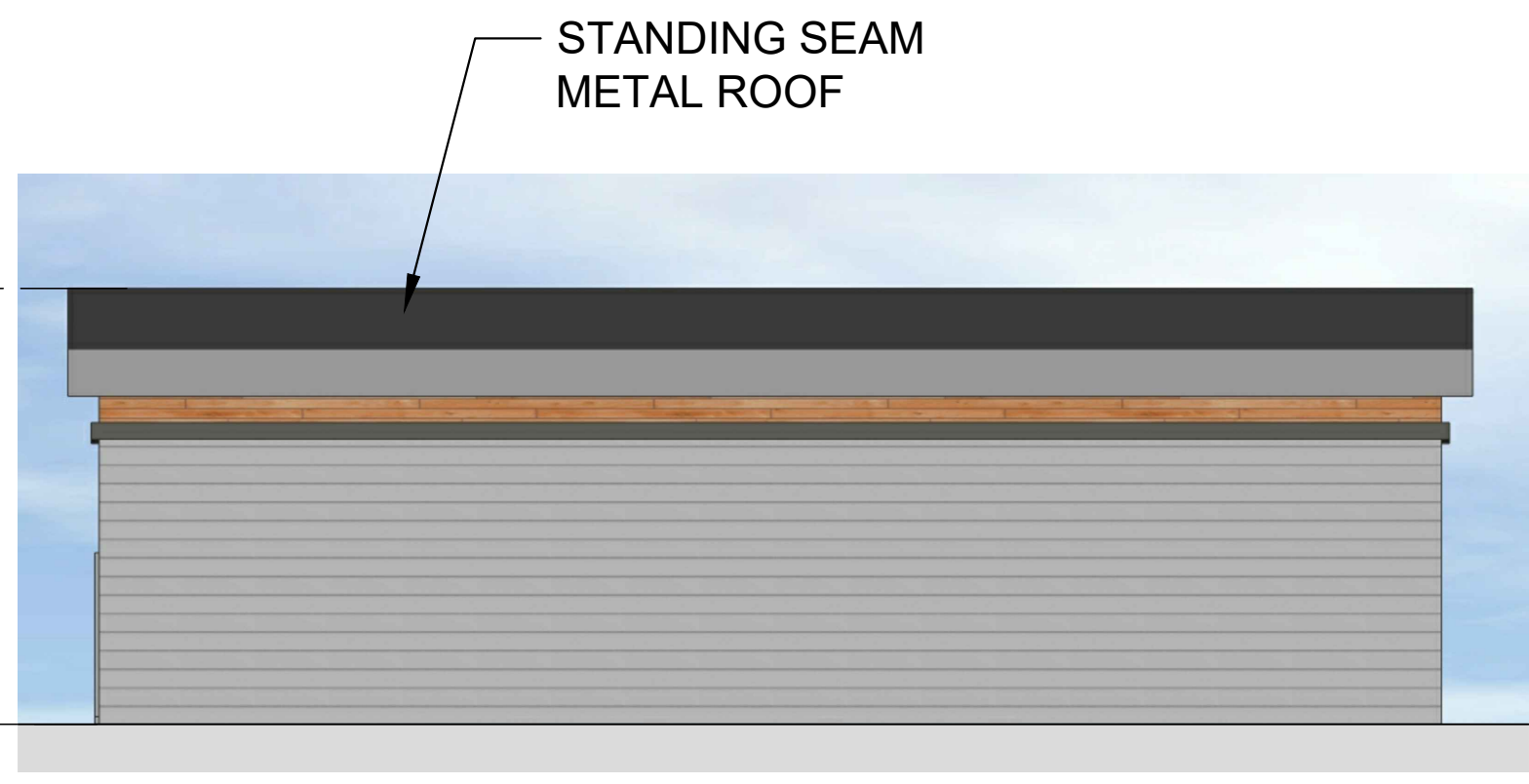
5 WEST ELEVATION  
1/8" = 1'-0"



4 SOUTH ELEVATION  
1/8" = 1'-0"



7 BUILDING SECTION  
1/8" = 1'-0"



6 NORTH ELEVATION  
1/8" = 1'-0"

architect:  
  
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1	SUBMISSION DATE	11/18/2020
1	DESIGN REVISION #1	02/09/2021

phase:  
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RANCHO CUCAMONGA  
FIRE  
CITY OF RANCHO  
CUCAMONGA  
FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:  
STORAGE BUILDING  
FLOOR PLAN, ROOF  
PLAN & EXTERIOR  
ELEVATIONS

project no.:  
2811.01

sheet no.:  
A-4.0

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STREET VIEW FROM INTERSECTION OF TOWN CENTER DRIVE  
AND TERRA VISTA PARKWAY



STREET VIEW FROM CENTER OF TOWN CENTER DRIVE



VIEW OF REAR PATIO FROM TERRA VISTA PARKWAY



VIEW AT EYE LEVEL FROM THE SIDEWALK ACROSS  
TOWN CENTER DRIVE

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**CITY OF RANCHO  
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**FIRE STATION 178**

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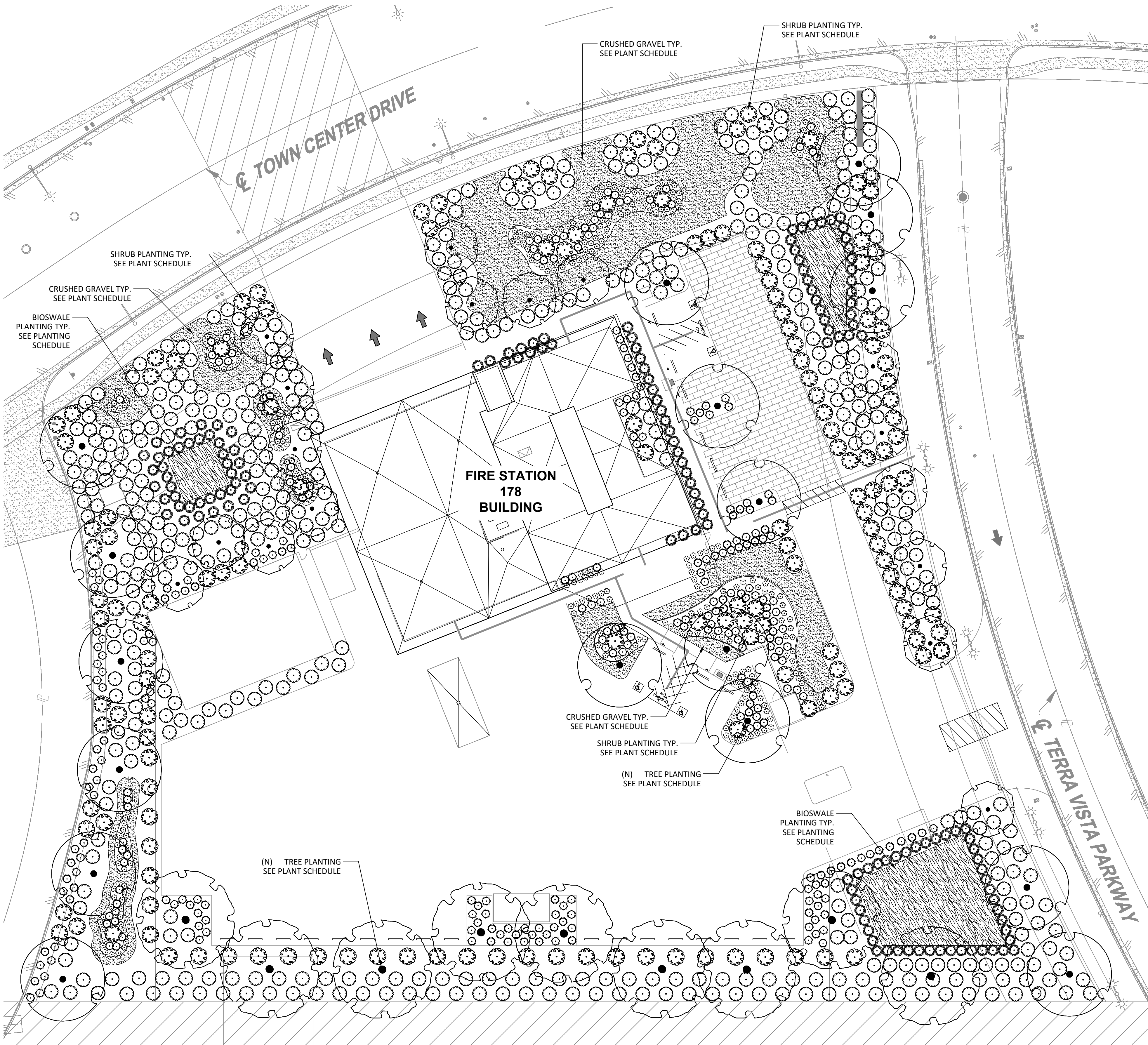
drawing title:  
**FIRE STATION BLDG.  
3D IMAGES**

project no.:  
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sheet no.:  
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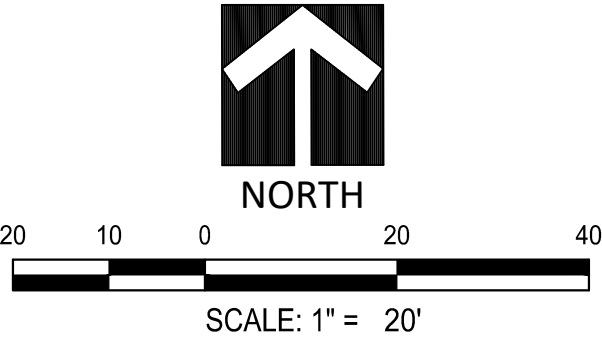




REPRESENTATIVE PLANTING SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	CHI LIN	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL	L	30'X30'
	PAR DES	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	15 GAL	L	20'X20'
	QUE CAT	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	M	50'X40'
GROUNDCOVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	ACH MIL	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	L	3'X4'
	BAC PIG	BACCHARIS PILULARIS 'PIGEON POINT'	PIGEON POINT COYOTE BRUSH	1 GAL	L	1'X8'
	CIS BR2	CISTUS X PURPUREUS 'BRILLIANCY'	BRILLIANCY ROCK ROSE	1 GAL	L	2'X6'
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	MUH REG	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM	MUHLI	1 GAL	L	4'X3'
	MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	L	4'X4'
	PEN ALO	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	5 GAL	L	2'X2'
LARGE SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	PHO WAV	PHORMIUM TENAX 'YELLOW WAVE'	NEW ZEALAND FLAX	5 GAL	L	5'X5'
MEDIUM SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	CAL MAL	CALLISTEMON VIMINALIS 'BETTER JOHN'	BETTER JOHN BOTTLEBRUSH	1 GAL	L	3'X3'
	DIE VEG	DIETES VEGETA	AFRICAN IRIS	1 GAL	L	3'X3'
	EPI HUM	EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	L	4'X4'
	TEU FRU	TEUCRIUM FRUTICANS	BUSH GERMANDER	1 GAL	L	5'X5'
SMALL SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	BER CRI	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL	M	2'X3'
	HEM YE2	HEMEROCALLIS X 'YELLOW'	DAYLILY	1 GAL	M	2'X2'
	LAV OTT	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER	1 GAL	L	2'X3'
SWALE VEGETATION	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	MOW FREE	NATIVE BIOSWALE SEED MIX	NATIVE GRASS SEED	SEED	L	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HWX
	CRSHD GRVL	CRUSHED GRAVEL - TYPE TBD	CRUSHED GRAVEL - TYPE TBD	NA	NA	

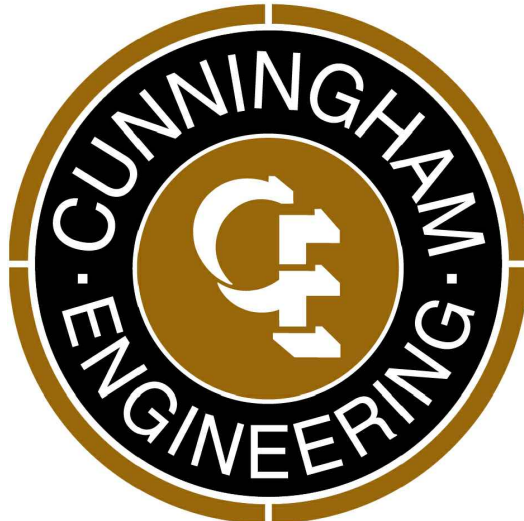
\* "ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS." IF THERE IS A DISCREPANCY BETWEEN THE PUBLIC AND PRIVATE PLANS, THE STREET IMPROVEMENT PLANS WILL GOVERN.



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consultants:



no.	description	date
1	SUBMISSION DATE	11/18/2020
1	DESIGN REVISION #1	02/09/2021

phase:

PLANNING APPLICATION



CITY OF RANCHO CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730

drawing title:

CONCEPTUAL LANDSCAPE PLAN

project no.:

2811.01

sheet no.:

L-1.0

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PRELIMINARY - NOT FOR CONSTRUCTION



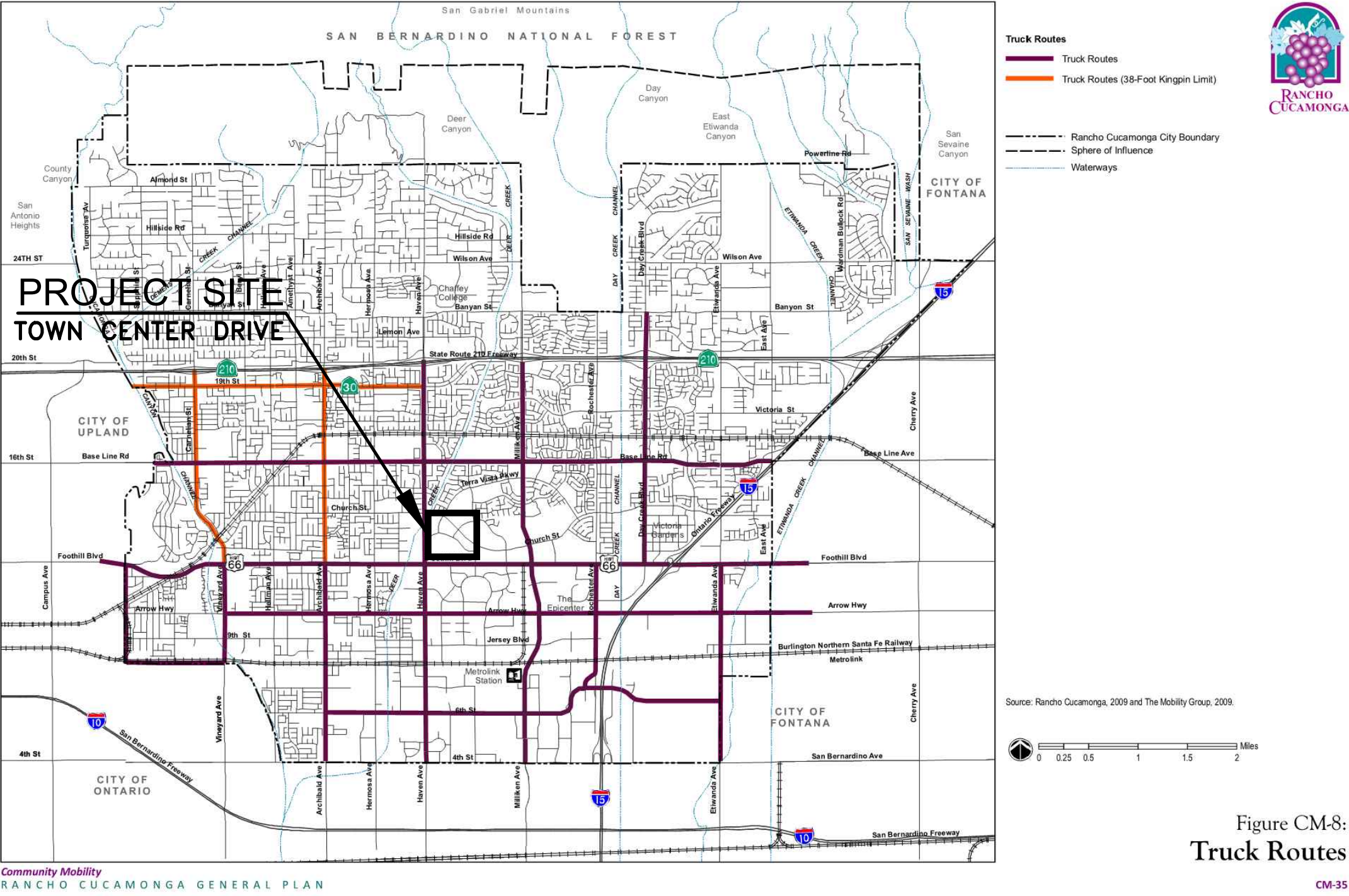


Figure CM-8:  
Truck Routes

ATTACHMENT(CONTINUED)

CITY GENERAL GRADING NOTES:

A.GRADING PROCESS

- A grading permit shall be obtained from the City and the grading inspector shall be notified 24 hours prior to the start of any grading.
- Clearing and grubbing, including removal of existing structure, footings, foundations, rubble, trees and root systems, other vegetation, debris, etc., shall be completed to the satisfaction of the Geotechnical Engineer prior to the start of grading operations.
- Excavation shall then be completed as shown on the approved plans.
- If exporting 50 cubic yards or more of soil, the applicant shall provide the location where the soil is to be deposited along with a letter of acceptance from the property owner prior to grading plan approval. If the site is located within the City of Rancho Cucamonga, a stockpile plan and permit are required.  
  
The exposed soil shall then be inspected by the Geotechnical Engineer. Additional over excavation shall be made in accordance with the Geotechnical Engineer's recommendation and as contained in the Soils Report.
- The exposed soils shall then be scarified to a minimum depth of 6 inches, brought to proper moisture content and compacted to at least 90% of the maximum density, as determined by Appendix Section J107.5 of the latest California Building Code. Equivalent compaction can be obtained by methods specified by the Geotechnical Engineer.
- Prior to importing soil, the grading contractor shall notify the Geotechnical Engineer not less than 72 hours in advance, so that each proposed import source can be sampled, tested, and approved prior to delivery for use on the site.
- Proper compaction for the entire project including the backfill of utility trenches, etc. shall be verified by the Geotechnical Engineer. He shall prepare a compaction report, which shall be submitted to and approved by the City prior to the issuance of a building permit.

Pad certification for elevation of all pads within the project shall be submitted to the Building Inspector prior to any concrete pouring. Pad certification can be by either one approved black- line-as-built grading and drainage plan or in letter format showing the design and as-built pad elevations shown on the approved grading and drainage plan. Either shall be sealed by a Civil Engineer licensed in the State of California.

- Certificates of final lot grading are to be submitted the Engineering Services Department prior to final building inspection.
- Final approval includes the construction of all improvements shown on the approved plan, including drainage facilities, drainage patterns, walls, curbs, asphalt pavement, buildings, etc. All items shall be constructed to the line and grade shown on the approved plans.

- An as-graded grading plan and certification of compliance shall be submitted to the Engineering Services Department prior to release of grading bond and prior to final grading inspection. The permittee shall provide a copy of as-built plans to the City for a permanent record at the end of the approved grading work.

- A Certificate of Occupancy (C of O) and /or final electrical clearance for any building will not be released until all grading, drainage WQMP (Water Quality Management Plan) Best Management Practices) improvements are completed and approved by the City. In addition, the Engineers As-Built Certificate must be wet signed and sealed on the WQMP BMP Exhibit. Three sets of exhibits must be submitted to the City Engineer, or designee, for review. The City of Rancho Cucamonga will submit one original to the State Water Board and will submit a second set to the West Valley Mosquito and Vector Control District.

A. RELATED REQUIREMENTS:

- The City only approves the Engineering Design in scope and not in detail on these plans. The City does not verify construction quantities on these plans. Approval of the plans are for permit purposes only and shall not prevent the city from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law, ordinance, health, safety, or other design issues. City acceptance of plans does not relieve the developer from responsibilities from the correction of errors and omissions discovered during construction.
- All Concrete (PCC) water carrying devices with slopes less than 0.5% shall be water tested prior to final inspection and acceptance. Any residual ponding in evidence at time of inspection shall be cause for removal and replacement.
- Debris, mud, silt, etc. shall not be deposited on public or other property at any time during construction. Any such deposition shall be removed immediately by the Contractor.
- All drainage protective devices such as swales, interceptor ditches, pipes, protective berms, barrier walls, concrete channels, or other measures designed to protect adjacent buildings or property from storm runoff must be completed prior to building construction.
- The Engineer of Record assumes responsibility for grading and inspection in accordance with Appendix Section J 105 of the latest California Building Code.

EARTHWORKS

FILL 8200 CYDS.

- Equestrian Trials shall be surfaced with a 4-inch thick section composed of 95% decomposed granite (1/8" to 3/8" diameter) and 5% coarse sand compacted to 90%. A compaction report certified by a Soils Engineer shall be submitted to and approved by the City prior to project final approval.

- Floodwater conveyance shall be maintained at all times during construction. The work shall be phased so that newly constructed facilities are fully operational prior to existing facilities being removed.

- A Grading Plan (City approved) shall be on the job site at all times. Deviations from the plan shall be preceded by an approved plan revision. Upon request of the Building Inspector, the required plan and revisions shall be promptly submitted to the City Engineer, or designee, for review.

- Protection of Adjacent Property. During grading operations, the permittee shall be responsible for the prevention of damage to adjacent property and no person shall excavate on land sufficiently close to the property line to endanger any adjoining public street, a sidewalk, alley, or other public or private property without supporting and protecting such property from settling, cracking, or other damage which might result.

- Improvements damaged by the grading operation located on adjacent property or with public right-of-way shall be repaired or replaced, as noted by City Inspectors, prior to final acceptance of the work.

- Obstructions to proposed improvements shall be removed or relocated before beginning construction of the proposed improvements.

- All work within the public right of way requires separate inspections and permits issued by the City Engineering Department.

- Shoring plans and calculations shall be provided if found necessary.

- All slopes exceeding 5' in height and 5:1 or steeper shall be planted with approved plant material and provided with approved watering system.

- Should any unforeseen subsurface structures be encountered during construction, they shall be immediately brought to the attention of the Engineer of Record, the Geotechnical Engineer, and Engineering Services Department before proceeding further.

- Utility lines (existing and proposed) within the work area shall be located and the depths confirmed by the Contractor. If the improvements cannot be constructed per plan because of conflicts, the contractor shall discuss modifications with the City Inspector to determine if a plan revision or a field change is required.

- All walls (retaining and garden) over 3 feet in finish height require separate plans submittal and design, review, permits, and inspection.

- All work shown hereon shall be done in accordance with the City of Rancho Cucamonga standards and Appendix J and Chapters 18 and 23 of the latest California Building Code.

- Grading Inspections:

- Prior to the start of grading operations, the owner and grading contractor shall request a pre-grading meeting. The meeting shall be attended by the project owner/representative, the grading contractor and the Building Inspector to discuss about grading requirements and preventive measures, etc. If a pre-grading meeting is not held within 24 hours from the start of grading operations, the grading permit may be subject to suspension by the Building Inspector;
- The grading contractor shall call into the City of Rancho Cucamonga Building and Safety Department at least 1 working day in advance to request the following grading inspections prior to continuing grading operations:

The bottom of the over-excavation

Completion of Rough Grading, prior to issuance of the building permit;

At the completion of Rough Grading, the grading contractor or owner shall submit to the Permit Technicians (Engineering Services Front Counter) an original and a copy of the Pad Certifications to be prepared by and properly wet signed and sealed by the Civil Engineer and Soils Engineer of Record;

The rough grading certificates and the compaction reports will be reviewed by the Engineering Services Department and approved prior to the issuance of a building permit.

- PRE-WATERING OF THE PROJECT/CONSTRUCTION SITE

- The pre-watering activities shall not occur within 24-hours after a rainy day;
- The pre-watering activities shall be done during the day time and the contractor shall monitor the watering and correct over-watering situations;
- Contractors shall identify and use the reclaimed or recycled water sources, if it is available, for watering activities.

- Prior to the installation of any surface or subsurface structural storm water treatment infiltration devices (commonly referred to as BMP's), the contractor shall scarify to bottom of the infiltration device to a minimum of 12-inches in depth.

PROJECT INFORMATION

CIVIL ENGINEER  
ASHBA ENGINEERS LIMITED  
P.O. BOX 90833  
LONG BEACH, CALIFORNIA 90809  
T. (562)209-6896

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MARY MCGRATH ARCHITECTS  
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T. (510) 208-9400

SURVEYOR  
WEST LAND GROUP INC.  
4150 CONCOURS STREET, SUITE 100  
ONTARIO, CA. 91764  
T. (909) 989-9789

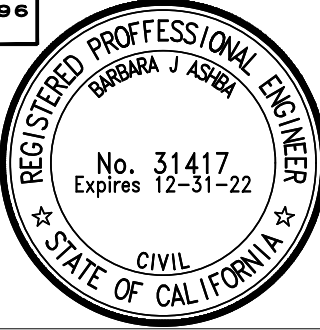
OWNER  
CITY OF RANCHO CUCAMONGA  
-  
-  
-

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DESIGN REVIEW  
APPLICATION



CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:

GENERAL  
NOTES

project no.:

2811.01

sheet no.:

C0.1

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SHEET #

TITLE

C0.1	—	GENERAL NOTES
C0.2	—	ON-SITE IMPROVEMENT PLAN
C0.3	—	FIRE STATION 178
C1.0	—	LEGEND, SYMBOLS AND ABBREVIATIONS
C2.0	—	BUILDING & SAFETY GRADING GENERAL NOTES
C3.0	—	EXISTING CONDITIONS (FOR REFERENCE ONLY)
C3.1	—	PRECISE GRADING AND PAVING PLAN
C4.0	—	PRELIMINARY WQMP DRAINAGE MAP
C5.0	—	UTILITY NOTES
	—	WET UTILITY PLAN
	—	SECTION PLAN
	—	CONSTRUCTION DETAILS



EROSION CONTROL PLANS

A- General Notes

1. Erosion control is required for grading operations. During the rainy season from October 15 h to April 15". Approved plans are required for all Rough Grading and Precise Grading permits.

2 . In case of an emergency, call:

(Responsible Person) \_\_\_\_\_.

(Firm) \_\_\_\_\_.

At:

(24-Hour Phone No.) \_\_\_\_\_.

3. Clearing and grubbing should be limited to areas that will receive immediate grading. Erosion control measures will be required to protect areas which have been cleared and grubbed prior to grading operation, and which are subject to runoff during the rainy season. These measures may include but shall not be limited to: graded ditches, brush barriers, and silt fences. Care shall be exercised to preserve vegetation beyond limits of grading.
4. City approval of plans does not relieve the developer from responsibility for the correction of error and omission discovered during construction. The required plan revision shall be promptly submitted to the City Engineer, or designee.
5. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
6. Devices shall not be moved or modified without the approval of the City Engineer.
7. All removable protective devices shown shall be in place at the end of each working day when the 5--day Rain probability forecast exceeds 40%.
8. After a rainstorm, all Silt and debris shall be removed from check berms, Silt fences, and de-silting basin, etc.
9. Graded areas around the project perimeter must drain away from the face of slope at the conclusion of each working day.
10. The contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
11. De--silting basins are to be constructed as grading of individual grading areas are complete per rough grading plans.
12. The City Engineer reserves the right to make changes or modifications to plan as deemed necessary.
13. Information on this plan is for erosion control only.
14. Temporary erosion protection is required for manufactured slopes prior to permanent planting.
15. Areas shall be maintained in such a state that fire Access shall be maintained at all times (including access to neighborhood properties).
16. No obstruction or disturbance of natural drainage courses or existing storm drain inlets shall occur during the rainy season, unless adequate temporary/permanent drainage facilities have been approved and installed.
17. The contractor shall conduct the operation in such a manner that storm runoff will be contained within the project or channeled into the storm drain system which serves the runoff area. Storm runoff from one area shall not be allowed to divert to another runoff area3
18. The permittee shall put into effect and maintain all precautionary measures necessary to protect adjacent watercourses and public or private property from damage by erosion, flooding, and deposition of mud or debris origination from the site during the grading operation.
19. Conformance with the requirements of these plans shall in no way relieve the contractor from his responsibilities to this site and adjacent properties. Temporary erosion control shall consist of, but not be limited to, construction to prevent, control and abate water, mud, dust control, and erosion damage to public and private property as a result of the construction of the project.
20. Slopes constructed prior to October 1ST shall be treated for erosion control prior to October 15. Slopes constructed after October 15 shall be treated for erosion control as the construction of slope progresses.
21. Fill Areas while being brought up to grade and during periods of completion prior to final grade. Shall be protected by various measures to eliminate erosion and the siltation of downstream facilities and adjacent areas. These measures may include but shall not be limited to: Temporary down drains, Either in the form of pipes or paved ditches with protected outfall areas; Graded berms around areas to eliminate erosion of fill slopes by surface runoff; confined with ponding areas to de-silt runoff; temporary check dams in toe of slope ditches to de-silt runoff; protection such as sand bags around inlets which have not been brought up to grade; and earth berms and appropriate grading to direct drainage away from the edge of the top of slopes shall be constructed and maintained on those fill areas where earth where earthwork operations are not in progress.

22. Top of cut brown ditches, where required on the plans, shall be constructed prior to exceeding 10 feet of cut measured vertically.
23. The tires of vehicles being used on-site shall be inspected and washed if necessary to stop tracking of dirt onto public streets. If export or import of dirt is to be done, a paved or graveled wheel washing area at least 12' wide by 40' long shall be provided at the exit to facilitate the inspection and cleaning of tires. "Rumble Strips" made from steel, railroad track, or similar materials can help reduce the mud getting onto the cleaning area. Street sweeping and washing is still required, but may be reduced by proper use of a Wheel Washing Area" like this. They are required on projects over 1 acres.
24. Any slopes with disturbed soils or denuded vegetation must be stabilized to Inhibit erosion by wind and water,
25. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
26. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind and water.
27. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
28. Excess or waste concrete may not be washed into the public right --of--way or any drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
29. All non--storm water discharges, unless accepted or authorized by an NPDES permit, require prior approval by the State Water Resources Control Board.
30. Trash and construction related solid waste must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
31. Construction sites shall be maintained by implementation of best management practices (BMP) in such a manner that pollutants are not discharged from the site.
32. Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
33. Dust Control. The owner of the site or the project contractor shall put into effect and maintain all precautionary measures necessary to prevent dust blowing front the site adjacent properties.

ATTACHMENT 8

Prior to obtaining a permit for clearing and grubbing, stockpile, or rough grading, the applicant shall install a dust control sign on the property as indicated below. After installation of signage, inspection will be required. If you have any questions, please contact Michael Frasure "Department Inspection Supervisor" at (909) 477-2710 ext. 4217.

GENERAL INFORMATION

- 1) Sign thickness should be 5/8 or 3/4 inch CDX laminated plywood board, overall size of 48"x96" (4 feet by 8 feet).
- 2) Signage must be located within 50 feet of each project site entrance.
- 3) One sign is sufficient for multiple site entrances located within 300 yards of each other.
- 4) Text height shall be at a minimum as shown on right side of sign template below.
- 5) Sign background must contrast with lettering. Typically, black text with white background.
- 6) The lower edge of the board must be a minimum of 6 feet and a maximum of 7 feet above grade.
- 7) The telephone number listed for the contact must be a local or a toll-free number and shall be accessible 24 hours per day.

EXAMPLE OF SIGNAGE

51E1NAE1E INF E1R84 ATIF3N

Empty Space	3"
Developers Name	4'
Project Name/Tract #####	4"
1 k YOU SLA DUST COMING k ROM	4'
THIS PROJECT CALL:	4'
Name, Phone number	6'
If you do not receive a response, please call	?
The AQMD at 1--800--CUT--SMOG	3"
Empty Space	3"

ABC Deslepei s  
Hillside Estates/ Tract 12343  
ID YOU SET DUST COMING FROM  
THIS PROJECT CALL:  
John Smith, 123-456-7789  
If you do not receive a response, please call  
The AQMD at 1-800-CUT-EMILY

LEGEND, SYMBOLS AND ABBREVIATIONS

DESCRIPTION	ABBREVIATIONS	SYMBOL
ADJUSTED APPROACH	ADJ APP.	
ASPHALT CONCRETE	AC	
AC REMOVALS	[8]	
ARCHITECT	ARCH.	
THE AMERICAN SOCIETY FOR TESTING AND MATERIALS	ASTM	
AMERICAN WATER WORKS ASSOCIATION	AWWA	
BACKFLOW PREVENTER	BFP	
BOLLARD	BLD	
BOTTOM OF STEPS	BS	
BUILDING	BLDG.	
BUILDING LINE	BL	
CALIFORNIA STORM WATER QUALITY ASSOCIATION	CASQA	
CAST IRON PIPE	CIP	
CATCH BASIN	CB	
CENTER LINE	CL	
CITY OF LONG BEACH	COLB	
CLEARANCE	CLR	
CONCRETE	CONC.	
CONCRETE REMOVALS	[5]	
CONCRETE WALK	S/W	
CONSTRUCT NEW	⊕	
CONTOUR (EX.)	E--CONT	(105.0)
CONTOUR (NEW)	N--CONT	105.0
CORNER	COR	
CURBFACE	CF	
DIAMETER	D	
DRIVE	DR	
DRIVEWAY	DWY	
EAST OF CURB	E/CURB	
EDGE OF PAVEMENT	EP	
ELECTRICAL	ELECT.	
ELEVATION	ELEV.	
EXISTING	EXIST./EX.	(XX.XX)
EXISTING ELEVATION		
FINISHED GRADE	FG	
FINISHED FLOOR	FF	
FINISHED SURFACE	FS	
FLOWLINE	FL	
GAS LINE		
GAS METER	GM	
GAS SERVICE	GS	
GAS VALVE	GV	
GEOTECHNICAL REPORT	GEOT. RPT	
GRADE BREAK	GB	
HIGH POINT	HP	
INVERT ELEVATION	INV	
LONG BEACH GAS AND OIL DEPARTMENT	LBGAOD	
LONG BEACH WATER DEPARTMENT	LBWD	
LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS	LACDPW	
MANHOLE	MH	
MAP BOOK	MP	
MAXIMUM	MAX	
MINIMUM	MIN	
MEAN SEA LEVEL	MSL	
NATIONAL GEODETIC VERTICAL DATUM	NGVD	
NORTHERLY	N'LY	
ON CENTER EACH WAY	O.C.E.W.	
PAGES	PGS	
PLANTING AREA	PA	
PLUMBING	PLUMB	
POINT OF CONNECTION	POC	
POLYVINYL CHLORIDE	PVC	
PORTLAND CONCRETE CEMENT	PCC	
POST INDICATOR VALVE	PIV	
PROPERTY LINE	P/L	
PROPOSED ELEVATION	XX.XX	
PROTECT EXISTING		
PULL BOX	PB	
RATE	R	
REINFORCED CONCRETE PIPE	RCP	
REGISTERED CIVIL ENGINEER	RCE	
RELOCATE EXISTING		
REMOVE EXISTING		
RIDGE LINE	RL	
RIGHT--OF--WAY	R.O.W.	
RIGHT--OF--WAY LINE	R/W	
ROOF DRAIN	RD	
SLOPE	S	
STANDARD	STD	
STANDARD DIMENSION RATIO	SDR	
SET TO GRADE	STG	
SEWER LINE		
SOUTHERLY	S'LY	
SOUTH OF CURB	S/CURB	
STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION	SPFPWC	
STORM DRAIN	SD	
STREET	ST	
SUBDRAIN		
TOP OF CLEANOUT	TCO	
TOP OF CURB	TC	
TOP OF GRATE	TG	
TOP OF RAMP	TR	
TOP OF STEPS	TS	

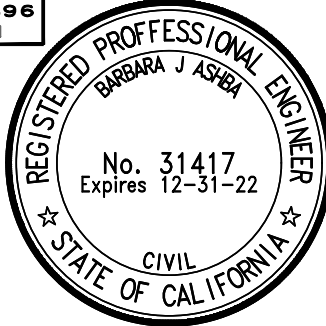
DESCRIPTION	ABBREVIATIONS	SYMBOL
TREE		
TYPICAL VAULT	TYP. VB	
VITRIFIED CLAY PIPE	VCP	
WATER LINE		
WATER METER	WM	
WATER SERVICE	WS	
WATER VALVE	WV	
WEAKENED PLANE JOINT	WPJ	

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consultants:



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phase:

DESIGN REVIEW  
APPLICATION



CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:

ADDITIONAL  
GENERAL  
NOTES

project no.:

2811.01

sheet no.:

C0.2

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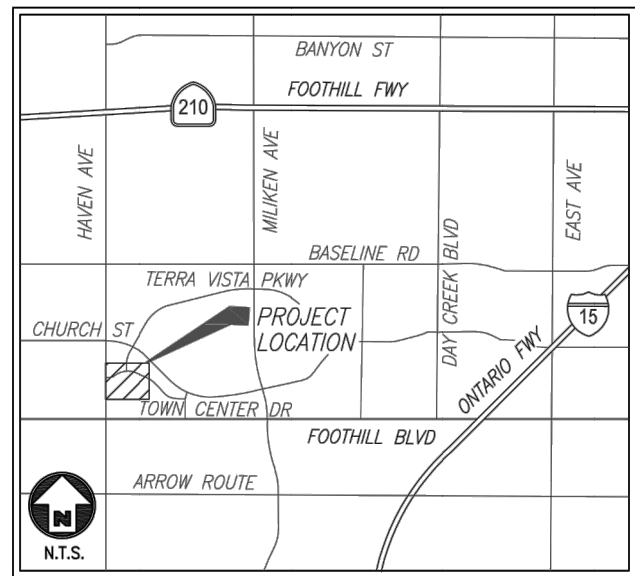
PRELIMINARY - NOT FOR CONSTRUCTION



FIRE STATION NO. 178

IN THE CITY OF RANCHO CUCAMONGA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA.

BEING PARCEL "F" OF INSTRUMENT NO. 2000-418834, OFFICIAL RECORDS OF SAN BERNARDINO COUNTY, AND BEING A PORTION OF PARCEL 4 OF PARCEL MAP NO. 15476 ON FILE IN BOOK 191 OF PARCEL MAPS, AT PAGES 23 THROUGH 25 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



VICINITY MAP

SURVEYOR'S NOTES:

- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTERLINE OF TOWN CENTER DRIVE, BEING N67°30'08"W AS SHOWN ON AMENDING PARCEL MAP NO. 11030, RECORDED IN P.M.B. 145/34-39, RECORDS OF SAN BERNARDINO COUNTY, CA.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE CITY OF RANCHO CUCAMONGA BENCH MARK "10039", BEING A 2" BRASS DISC IN CONCRETE CURB STAMPED "CITY OF RANCHO CUCAMONGA BM 10039 1987" AT NORTHWEST CORNER OF FOOTHILL BOULEVARD AND HAVEN AVENUE, 1 FOOT NORTH OF BCR AT SOUTHERLY END OF CATCH BASIN. ELEVATION = 1208.173'.
- EASEMENT FOR ELECTRICAL LINES IS BLANKET IN NATURE PER DEED RECORDED APRIL 17, 1990 AS INSTRUMENT NO. 90-147334, O.R.

BLOCK LEGEND:

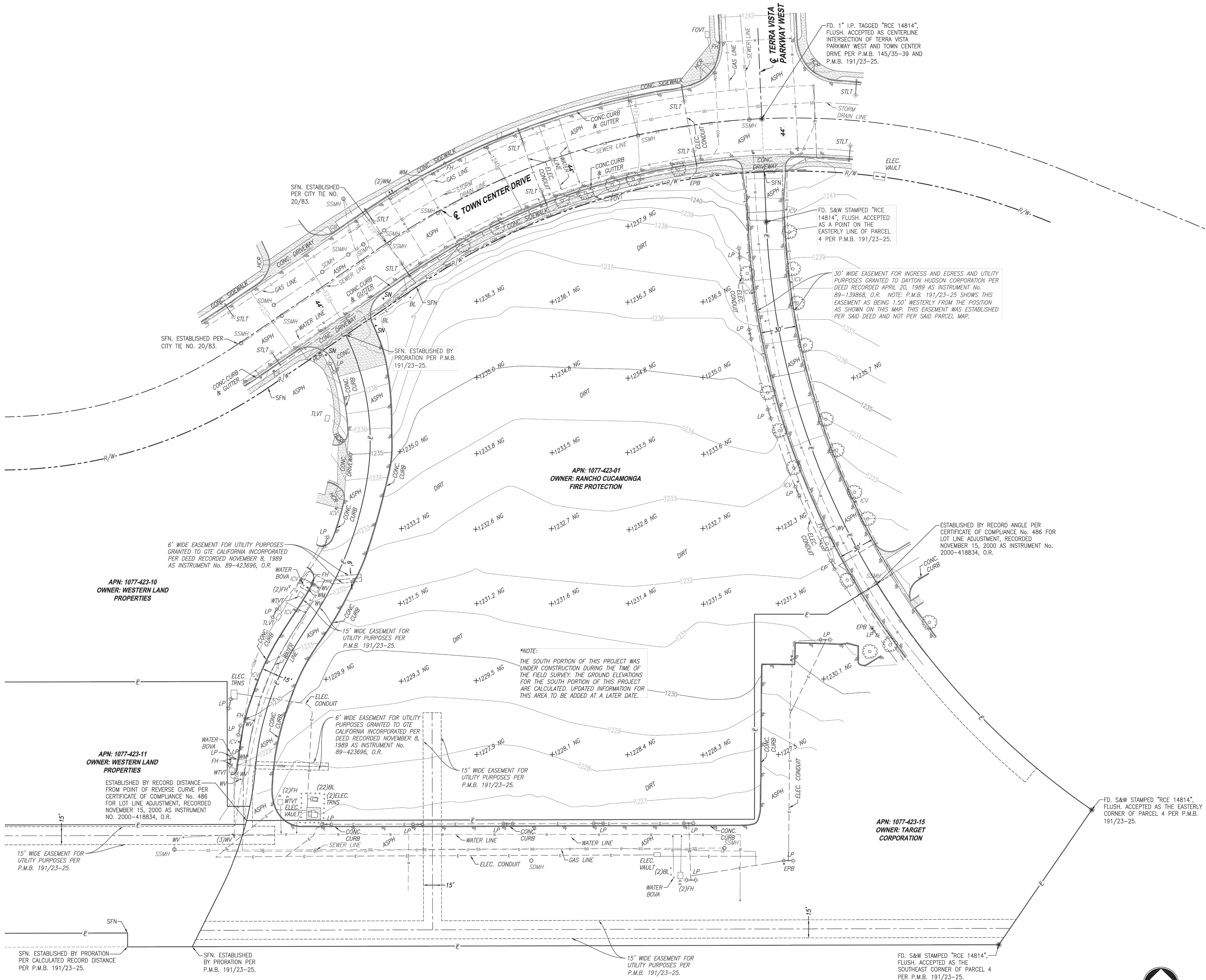
- BOLLARD
- BLOWOFF VALVE
- EDGE OF PAVEMENT
- ELECTRICAL PULLBOX
- FOUND MONUMENT
- FIRE HYDRANT
- IRRIGATION CONTROLLER VALVE
- LAMP POST
- MANHOLE
- STREET LIGHT
- WATER METER
- WATER VALVE

LINE LEGEND:

- CENTERLINE
- COMM LINE
- EASEMENT LINE
- GAS LINE
- POWER LINE
- PROPERTY LINE
- RIGHT-OF-WAY
- SANITARY SEWER LINE
- STORM DRAIN LINE
- WATER LINE

ABBREVIATIONS:

- |       |                             |
|-------|-----------------------------|
| ASPH  | ASPHALT                     |
| BL    | BOLLARD                     |
| BOVA  | BLOWOFF VALVE               |
| CL    | CENTERLINE                  |
| COMM  | COMMUNICATIONS              |
| CONC  | CONCRETE                    |
| ECB   | ELECTRICAL CABINET          |
| EL    | ELEVATION                   |
| EPB   | ELECTRICAL PULLBOX          |
| FD    | FOUND                       |
| FH    | FIRE HYDRANT                |
| FO    | FIBER OPTIC VAULT           |
| HCR   | HANDICAP RAMP               |
| ICV   | IRRIGATION CONTROLLER VALVE |
| LP    | LAMP POST                   |
| R/W   | RIGHT OF WAY                |
| SDMH  | STORM DRAIN MANHOLE         |
| SFN   | SEARCHED FOUND NOTHING      |
| SSMH  | SANITARY SEWER MANHOLE      |
| STLT  | STREET LIGHT                |
| TRANS | COMMUNICATIONS VAULT        |
| WM    | WATER METER                 |
| WTVT  | WATER VAULT                 |
| WV    | WATER VALVE                 |



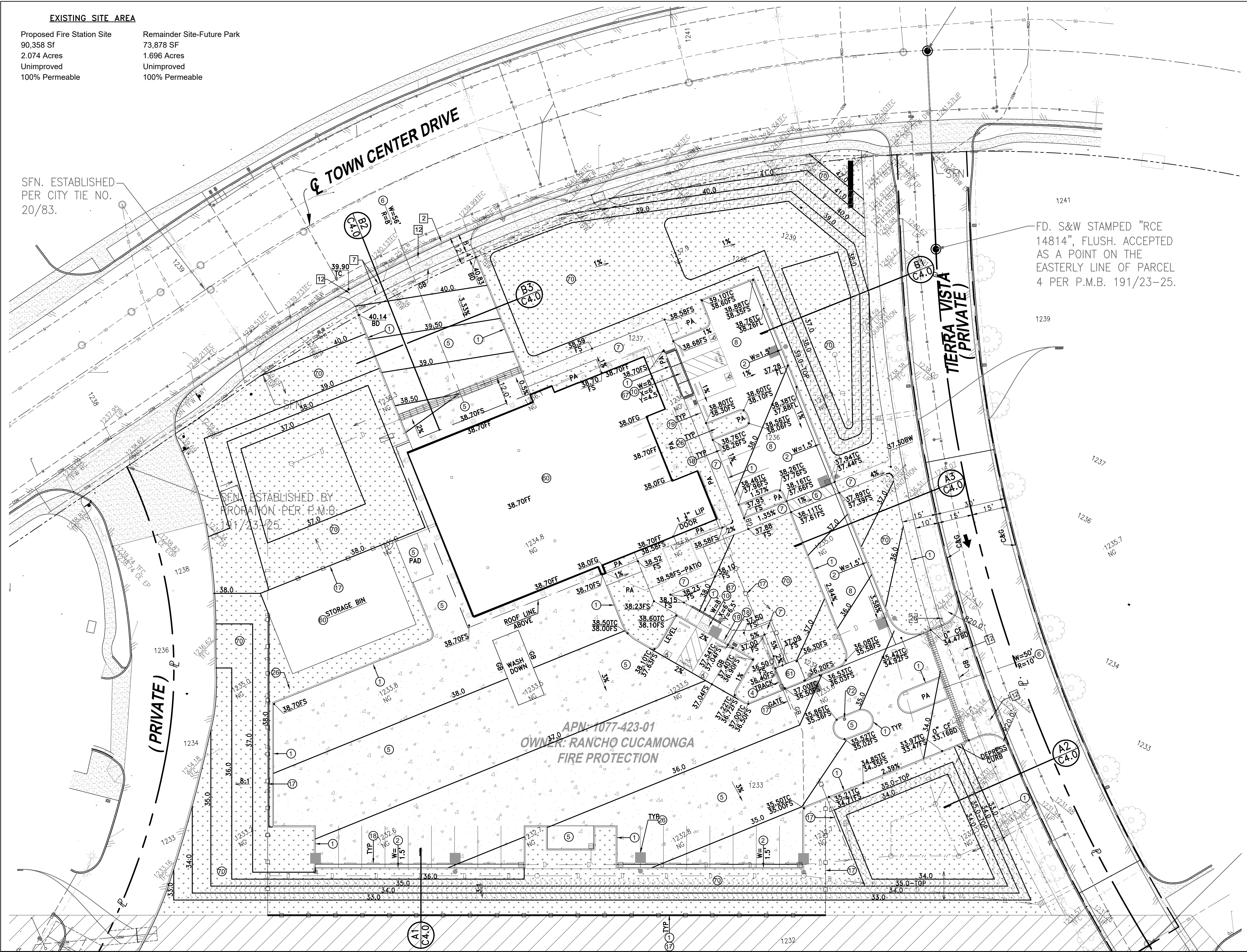
SCALE: 1"=40'

EXISTING CONDITIONS ( FOR REFERENCE ONLY )

FIRE STATION NO. 178			
TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730			
CITY: RANCHO CUCAMONGA	COUNTY: SAN BERNARDINO		
SURVEYED BY: A. JONES, P. BALL	DRAWN BY: S. DUINN	CHECKED BY: S. BENNETT	
FILE NAME: 2020-317_VEXH101.dwg	DATE: 10/14/2020	SHEET: 1	OF 1

**WestLAND**  
Group, Inc.  
Land Surveyors • Civil Engineers • GIS  
4150 Concourse Street, Suite 100 • Ontario, CA 91764  
Phone: (909) 989-9789 Fax: (909) 989-9660





CONSTRUCTION SCHEDULE			
CONSTRUCT NEW...		REMOVE EXIST...	
PROTECT EXIST...		RELOCATE EXIST...	
#	Description	Std.	Detail
1	Curb A1-6	RC	104
2	Curb and Gutter A2-6	RC	104
3	Longitudinal Gutter	RC	106A
4	Concrete Flume	-	-
5	Concrete Paving	-	-
6	Driveway Type C	RC	101
7	Concrete Walk	-	-
8	Asphalt Concrete Paving	-	-
9	Full Depth AC	APWA	113
10	Curb Ramp	APWA	111
11	Concrete Strip	-	-
12	Tree / Tree Well	SEE	LAND
13	Bollard	CVWD	114
14	Curb Drain	RC	107A
15	Culvert	RC	107B
16	Wall	RC	806
17	Chan Link Fence	RC	607
18	Wheel Bumper	-	-
19	Sign & Post	RC	401
20	SEWER LATERAL	CVWD	201+203
21	VCP Pipe	ASTM	C700
22	PVC Pipe SDR 35	ASTM	D3034
23	Clean out	CVWD	207
24	SManhole	CVWD	213
25	Interceptor	CVWD	209+213
26	Street Light Std & Fdn	SEE	ELEC.
27	Utility Box	SEE	UTIL.
28	Conduit & Wiring	SEE	ELEC.
29	2" Water Service Meter	CVWD	103
30	Water Service Box	Water	Co.
31	Copper Pipe	ASTM	B88
32	PVC Pipe DR18	AWMA	C900
33	Ductile Iron Pipe CL52	AWWA	C151
34	Water Valve	CVWD	115+116
35	Manifold Service	CVWD	112
36	Hot Tap	CVWD	123
37	Fire Hydrant	CVWD	113
38	Detector Check BFP	CVWD	110
39	Reduced Pressure BFP	CVWD	111
40	Roof Drain	SEE	PLUM.
41	Splash Block	-	-
42	Trench Drain	-	-
43	-	-	-
44	Manhole	APWA	321
45	Catch Basin	RC	300
46	Drop Inlet	-	-
47	Filter Insert	-	-
48	Subdrain	-	-
49	Trench Drain	-	-
50	Gas Service & Meter	Gas	Co.
51	PE Gas Pipe	SPEC	-
52	Gas Steel Pipe	ASTM	A52
53	Pressure Regulator	SEE	PLUM.
54	Earthquake Valve	SEE	PLUM.
55	Utility Pole	UTIL.	Co.
56	Guy Wire	SEE	UTIL.
57	Vent	UTIL.	Co.
58	Underground Vault	RC	142
59	Transformer/Switchgear	RC	139
60	Building	SEE	ARCH.
61	Trash Enclosure	SEE	ARCH.
62	Flag Pole Foundation	-	-
63	Column	-	-
64	Accessible Handicap Ramp	SEE	ARCH.
65	Steps	RC	600
66	Guardrail / Handrail	SEE	ARCH.
67	Detectable Warning	SEE	ARCH.
68	Slurry A.C. Paving	-	-
69	Colored Conc. Area	-	-
70	Grade Only	SEE	SPEC.
71	-	-	-
72	Gate Controller	SEE	ARCH.
73	-	-	-
74	-	-	-
75	Concrete Pavers	SEE	ARCH.
76	-	SEE	ARCH.
77	-	SEE	ARCH.
78	-	-	-
79	-	-	-
80	-	-	-

NOTE:  
42 IN LIEU OF 1242 FOR CLARITY

architect:

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LONG BEACH  
CALIFORNIA 90809  
(562) 209-6896  
ISSUE DATE: 02.09.21

REGISTERED PROFESSIONAL ENGINEER  
BARBARA J. ASHER  
No. 31417  
Expires 12-31-22  
CIVIL  
STATE OF CALIFORNIA

no.	description	date
	SUBMISSION DATE	11/18/2020
1	DESIGN REVISION #1	02/09/2021

phase:

DESIGN REVIEW APPLICATION

RANCHO CUCAMONGA  
FIRE

CITY OF RANCHO CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730

drawing title:

PRECISE GRADING PLAN

project no.:

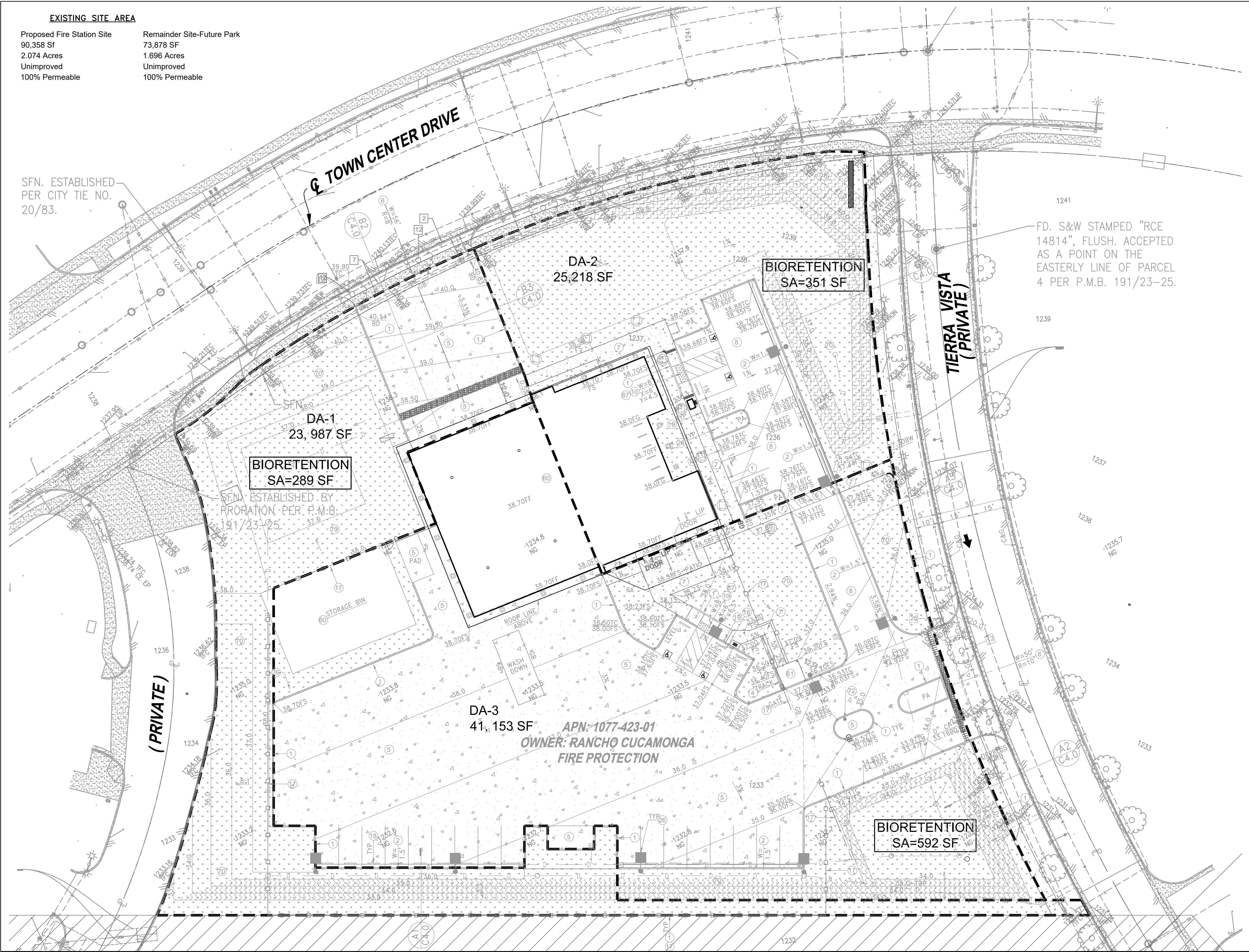
2811.01

sheet no.:

C1.0

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CONSTRUCTION SCHEDULE		
○ CONSTRUCT NEW... □ REMOVE EXIST... ● PROTECT EXIST... ■ RELOCATE EXIST...		
#	Description	Std. Detail
1	Curb A1-6	RC 104
2	Curb and Gutter A2-6	RC 104
3	Longitudinal Gutter	RC 106A
4	Concrete Flume	- -
5	Concrete Paving	- -
6	Driveway Type C	RC 101
7	Concrete Walk	- -
8	Asphalt Concrete Paving	- -
9	Full Depth AC	APWA 113
10	Curb Ramp	APWA 111
11	Concrete Strip	- -
12	Tree / Tree Well	SEE LAND
13	Bollard	CVWD 114
14	Curb Drain	RC 107A
15	Culvert	RC 107B
16	Wall	RC 806
17	Chan Link Fence	RC 607
18	Wheel Bumper	- -
19	Sign & Post	RC 401
20	SEWER LATERAL	CVWD 201+203
21	VCP Pipe	ASTM C700
22	PVC Pipe SDR 35	ASTM D3034
23	Clean out	CVWD 207
24	SManhole	CVWD 213
25	Interceptor	CVWD 209+213
26	Street Light Std & Fdn	SEE ELEC.
27	Utility Box	SEE UTIL.
28	Conduit & Wiring	SEE ELEC.
29	2" Water Service Meter	CVWD 103
30	Water Service Box	Water Co.
31	Copper Pipe	ASTM B88
32	PVC Pipe DR18	AWMA C900
33	Ductile Iron Pipe CL52	AWWA C151
34	Water Valve	CVWD 115+116
35	Manifold Service	CVWD 112
36	Hot Tap	CVWD 123
37	Fire Hydrant	CVWD 113
38	Detector Check BFP	CVWD 110
39	Reduced Pressure BFP	CVWD 111
40	Roof Drain	SEE PLUM.
41	Splash Block	- -
42	Trench Drain	- -
43	-	- -
44	Manhole	APWA 321
45	Catch Basin	RC 300
46	Drop Inlet	- -
47	Filter Insert	- -
48	Subdrain	- -
49	Trench Drain	- -
50	Gas Service & Meter	Gas Co.
51	PE Gas Pipe	SPEC -
52	Gas Steel Pipe	ASTM A52
53	Pressure Regulator	SEE PLUM.
54	Earthquake Valve	SEE PLUM.
55	Utility Pole	UTIL. Co.
56	Guy Wire	SEE UTIL.
57	Vent	UTIL. Co.
58	Underground Vault	RC 142
59	Transformer/Switchgear	RC 139
60	Building	SEE ARCH.
61	Trash Enclosure	SEE ARCH.
62	Flag Pole Foundation	- -
63	Column	- -
64	Accessible Handicap Ramp	SEE ARCH.
65	Steps	RC 600
66	Guardrail / Handrail	SEE ARCH.
67	Detectable Warning	SEE ARCH.
68	Slurry A.C. Paving	- -
69	Colored Conc. Area	- -
70	Grade Only	SEE SPEC.
71	-	- -
72	Gate Controller	SEE ARCH.
73	-	- -
74	-	- -
75	Concrete Pavers	SEE ARCH.
76	-	SEE ARCH.
77	-	SEE ARCH.
78	-	- -
79	-	- -
80	-	- -

architect:

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CIVIL  
STATE OF CALIFORNIA

no.	description	date
	SUBMISSION DATE	11/18/2020
1	DESIGN REVISION #1	02/09/2021

phase:

DESIGN REVIEW  
APPLICATION

RANCHO CUCAMONGA  
FIRE

CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:

PRELIMINARY  
WQMP  
DRAINAGE MAP

project no.:

2811.01

sheet no.:

C2.0

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ATTACHMENT 1

WATER GENERAL NOTES:

1. All work shall be in accordance with the current adopted California Plumbing Code, the Cucamonga Valley Water District's standards and specifications and the standard specifications for public works construction (Green Book) latest edition and all supplements.
2. Approval of this plan by the City of Rancho Cucamonga does not constitute a representation as to the accuracy of the location or of the existence or non-existence of any underground utility pipe or structure within the limits of this project the protection of all utilities within the limits of the project.
3. Inspection shall be by the city of Rancho Cucamonga, Building & Safety Department. All requests for inspection shall be made at least 24 hours in advance of the proposed construction.
4. Contractor is responsible for location and confirming depths of all the existing utility lines within proposed trenching areas.
5. Public streets shall be kept clean and free from dirt and/or debris. The contractor shall be responsible for all costs incurred in street cleaning necessitated by his operation.
6. Installation work shall be performed by fully experienced and responsible persons.
7. Fittings shall be of an approved type with joints and pressure class ratings compatible with the pipe used. Joints shall be assembled by persons familiar with the panicular materials being used and in accordance with the manufacturer's instructions and specifications.
8. When work is stopped, the open ends of pipe, valves, hydrants, and fittings shall be plugged to prevent stones and foreign materials from entering.
9. Thrust blocks shall be considered satisfactory where soil is suitable for their use per city of Rancho Cucamonga Fire Construction Services. Wherever possible, thrust blocks shall be placed so that the joints are accessible for repair.
10. Backfill shall be tamped in layers or puddle under and around pipes to prevent settlement or later movement and shall contain no ashes, cinders, refuse, organic matter, or other corrosive materials. No Rocks shall be place in trenches.
11. The installing contractor shall be responsible for the following: (1) notifying the authority having jurisdiction and owner's representative of the time and date testing is to be performed;  
(2) performing all required acceptance tests.
12. The Contractor shall return a legible and clean set of "As Built" drawings to the City of Rancho Cucamonga Engineering Services Department prior to final acceptance of any system.

ATTACHMENT 2

SEWER GENERAL NOTES

1. All work shall be in a accordance with the current adopted California Plumbing Code, the Cucamonga Valley Water District's standards and specifications and the standard specifications for public works construction (Green Book) latest edition and all supplements.
2. Approval of this plan by the City of Rancho Cucamonga does not constitute a representation as to the accuracy of the location or of the existence or non-existence of any underground utility pipe or structure within the limits of this project the protection of all utilities within the limits of the project.
3. Inspection shall be by the city of Rancho Cucamonga, Building & Safety Department. All requests for inspection shall be made at least 24 hours in advance of the proposed construction.
4. During the period of construction, the contractor shall furnish, erect and maintain such warnings, signs, stop signs, barricades and other safety measures as directed by the City of Rancho Cucamonga, Engineering Services with reference to the manual of uniform traffic control devices, California supplement, all editions.
5. The Contractor is responsible for securing from the Cucamonga Valley Water District copies of the latest Standard Specifications prior to start of construction.
6. Any Contractor performing work on this project shall familiarize themselves with the site and shall be held solely responsible for any damage to existing facilities resulting directly, or indirectly, from their operations, whether or not said facilities are shown on these plans.
7. Sewer pipe materials shall comply with the current adopted California Plumbing Code.
8. The Contractor shall be required to obtain the necessary permits from the appropriate local agencies prior to any construction within any street, right-of-way, or easement.
9. Use of a pipe deflector or re-rounder shall not be permitted on over-detected pipe.
10. Contractor shall not open more trench than can be properly constructed and filled in a day's operation. Any trench unavoidably left open during the hours of darkness or over a weekend shall be fenced with 6 foot chain link fencing and properly lighted
11. Contractor shall reinstall pavement markings and striping that has been disturbed by his operations.
12. O.S. H.A permit required for trenches over 5 feet in depth prior to start of trench excavation.
13. Contractor shall contact underground service alert prior to beginning work.
14. The contractor shall provide safe and continuous passage for local pedestrian and vehicular traffic at all times.
15. Should any of the existing utilities or any other facilities conflict with the proposed sewer line, the contractor shall notify the Engineer of Record and await the relocation and/or alternate design.

16. The contractor shall exercise due care to avoid injury to existing improvements or facilities, utility facilities, adjacent property, and trees and shrubbery that are not to be removed. Contractor shall notify USA prior to entering project site.
17. The minimum separation between water lines and sanitary sewer lines shall conform to the state of California Environmental Health code, Title 22, Section 64630-C.
18. The Contractor shall return a legible and clean set of "As Built" drawings to the City of Rancho Cucamonga Engineering Services Department prior to final acceptance of any system.
19. The Contractor shall be responsible to notify Underground Service Alert (1-800-227-2600) at least two working days (48 hours) prior to start construction.
20. All removals in paved areas shall be saw cut on a neat, straight line parallel to the pipe line. The cut edge shall be protected from crushing and all broken edges shall be recut prior to paving operations.
21. Public streets shall be kept clean and free from dirt and/or debris. The contractor shall be responsible for all cost incurred in street cleaning necessitated by his operation.
22. The contractor is responsible for securing from the Cucamonga Valley Water District copies of the latest Standard Specifications prior to start of construction.
23. Any Contractor performing work on this project shall familiarize themselves with the site and shall be held solely responsible for any damage to existing facilities directly, or indirectly, from their operations, whether or not said facilities are shown on these plans.

ATTACHMENT 3

1. As-built Certificate:  
I hereby certify that the "Record Drawing" Measurements as shown hereon were made under my supervision or as noted and are correct to the best of my knowledge and belief.

Signature

Date

Wet Seal

architect:



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consultants:



no.	description	date
	SUBMISSION DATE	11/18/2020
1	DESIGN REVISION #1	02/09/2021

phase:

DESIGN REVIEW  
APPLICATION



CITY OF RANCHO  
CUCAMONGA

FIRE STATION 178

TOWN CENTER DR., RANCHO  
CUCAMONGA, CA 91730

drawing title:

UTILITY NOTES

project no.:

2811.01

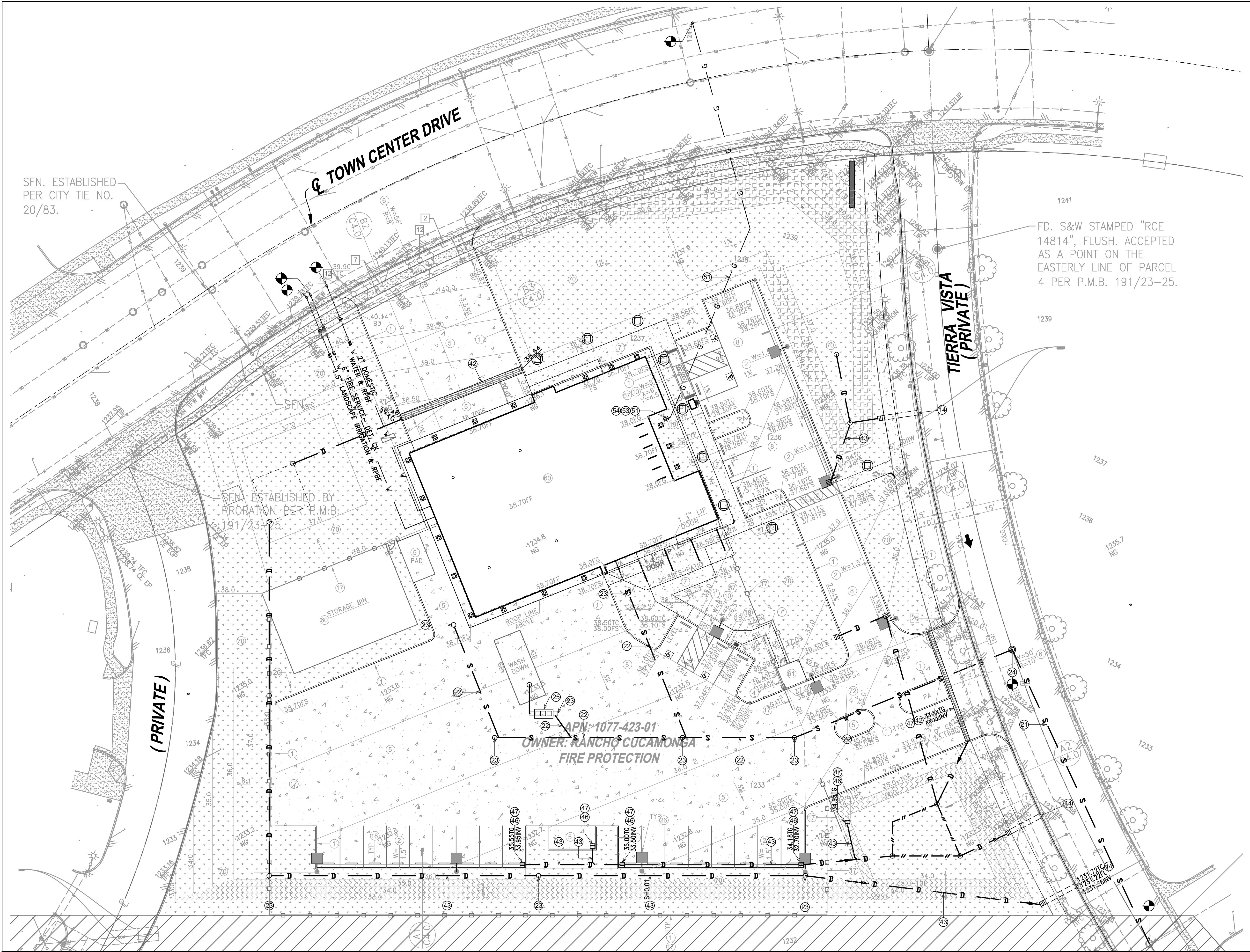
sheet no.:

C3.0

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PRELIMINARY - NOT FOR CONSTRUCTION





UTILITY PLAN

SCALE 1"=20' A1

CONSTRUCTION SCHEDULE		
○ CONSTRUCT NEW... □ REMOVE EXIST... ○ PROTECT EXIST... □ RELOCATE EXIST...		
#	Description	Std. Detail
1	Curb A1-6	RC 104
2	Curb and Gutter A2-6	RC 104
3	Longitudinal Gutter	RC 106A
4	Concrete Flume	- -
5	Concrete Paving	- -
6	Driveway Type C	RC 101
7	Concrete Walk	- -
8	Asphalt Concrete Paving	- -
9	Full Depth AC	APWA 113
10	Curb Ramp	APWA 111
11	Concrete Strip	- -
12	Tree / Tree Well	SEE LAND
13	Bollard	CVWD 114
14	Curb Drain	RC 107A
15	Culvert	RC 107B
16	Wall	RC 806
17	Chan Link Fence	RC 607
18	Wheel Bumper	- -
19	Sign & Post	RC 401
20	SEWER LATERAL	CVWD 201+203
21	VCP Pipe	ASTM C700
22	PVC Pipe SDR 35	ASTM D3034
23	Clean out	CVWD 207
24	SManhole	CVWD 213
25	Interceptor	CVWD 209+213
26	Street Light Std & Fdn	SEE ELEC.
27	Utility Box	SEE UTIL.
28	Conduit & Wiring	SEE ELEC.
29	2" Water Service Meter	CVWD 103
30	Water Service Box	Water Co.
31	Copper Pipe	ASTM B88
32	PVC Pipe DR18	AWMA C900
33	Ductile Iron Pipe CL52	AWWA C151
34	Water Valve	CVWD 115+116
35	Manifold Service	CVWD 112
36	Hot Tap	CVWD 123
37	Fire Hydrant	CVWD 113
38	Detector Check BFP	CVWD 110
39	Reduced Pressure BFP	CVWD 111
40	Roof Drain	SEE PLUM.
41	Splash Block	- -
42	Trench Drain	- -
43	-	- -
44	Manhole	APWA 321
45	Catch Basin	RC 300
46	Drop Inlet	- -
47	Filter Insert	- -
48	Subdrain	- -
49	Trench Drain	- -
50	Gas Service & Meter	Gas Co.
51	PE Gas Pipe	SPEC -
52	Gas Steel Pipe	ASTM A52
53	Pressure Regulator	SEE PLUM.
54	Earthquake Valve	SEE PLUM.
55	Utility Pole	UTIL. Co.
56	Guy Wire	SEE UTIL.
57	Vent	UTIL. Co.
58	Underground Vault	RC 142
59	Transformer/Switchgear	RC 139
60	Building	SEE ARCH.
61	Trash Enclosure	SEE ARCH.
62	Flag Pole Foundation	- -
63	Column	- -
64	Accessible Handicap Ramp	SEE ARCH.
65	Steps	RC 600
66	Guardrail / Handrail	SEE ARCH.
67	Detectable Warning	SEE ARCH.
68	Slurry A.C. Paving	- -
69	Colored Conc. Area	- -
70	Grade Only	SEE SPEC.
71	-	- -
72	Gate Controller	SEE ARCH.
73	-	- -
74	-	- -
75	Concrete Pavers	SEE ARCH.
76	-	SEE ARCH.
77	-	SEE ARCH.
78	-	- -
79	-	- -
80	-	- -

architect:  

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ISSUE DATE: 12.08.21

REGISTERED PROFESSIONAL ENGINEER  
BARBARA J. ASHER  
No. 31417  
Expires 12-31-22  
CIVIL  
STATE OF CALIFORNIA

no. description date  
1 SUBMISSION DATE 11/18/2020  
2 DESIGN REVISION #1 02/09/2021

phase:  
DESIGN REVIEW APPLICATION

RANCHO CUCAMONGA  
FIRE

CITY OF RANCHO CUCAMONGA  
FIRE STATION 178

TOWN CENTER DR., RANCHO CUCAMONGA, CA 91730

drawing title:  
WET UTILITY PLAN

project no.:  
2811.01

sheet no.:  
C3.1

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PRELIMINARY - NOT FOR CONSTRUCTION







**NYLOPLAST 12" DRAIN BASIN: 2812AG \_\_ X**

NYLOPLAST 12" DOME GRATE  
FRAME & GRATE TO MATCH BASIN O.D.

(3) VARIABLE INVERT HEIGHTS  
AVAILABLE (ACCORDING TO  
PLANS/TAKE OFF)

MINIMUM PIPE BURIAL  
DEPTH PER PIPE  
MANUFACTURER  
RECOMMENDATION  
(MIN. MANUFACTURING  
REQ. SAME AS MIN. SUMP)

(5) ADAPTER  
ANGLES  
VARIABLE 0° - 360°  
ACCORDING TO  
PLANS

6" W RING OF 2" COBBLE  
TYPICAL IN LANDSCAPE AREA

WATERTIGHT JOINT  
(CORRUGATED HDPE SHOWN)

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:  
4" - 12" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL,  
ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35),  
PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

4" MIN

(3) VARIABLE SUMP DEPTH  
ACCORDING TO PLANS  
(6" MIN. BASED ON  
MANUFACTURING REQ.)

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER  
GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I OR  
CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL  
FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED  
UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTAL	MELT-11-10	12500GDB	7001-110-200
GRANULAR	MELT-11-10	12500GDB	7001-110-200
SOLID COVER	MELT-11-10	12500GDB	7001-110-204
PEDESTAL BRONZE	N/A	12500GDB	7001-110-206
DOME	N/A	12500GDB	7001-110-208
BRICK IN GRATE	LIGHT DUTY	12500GDB	7001-110-204

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.		DRAWN BY EBC DATE 03-29-06 REVISED BY CCA DATE 08-27-13	MATERIAL PROJECT NO./NAME DWG SIZE A SCALE 1:20 SHEET 1 OF 1	 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com TITLE 12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL DWG NO. 7001-110-189 REV D
--	--	--	---	--

**EXPANSION JOINT @ 50' O.C MIN**

Labels: SEALANT, NON-EXTRUDING PREMOLDED COMPRESSIBLE MATERIAL, 1/2" (MAX. TYP.), 3.16, TYP., 12", 1.25T, T.

**CONSTRUCTION JOINT**

Labels: SEALANT, 1/4" RADIUS TYP., T/2, 2T, T.

**CONTRACTION JOINT @ 10' O.C EW MIN. 520-A-3500 PCC**

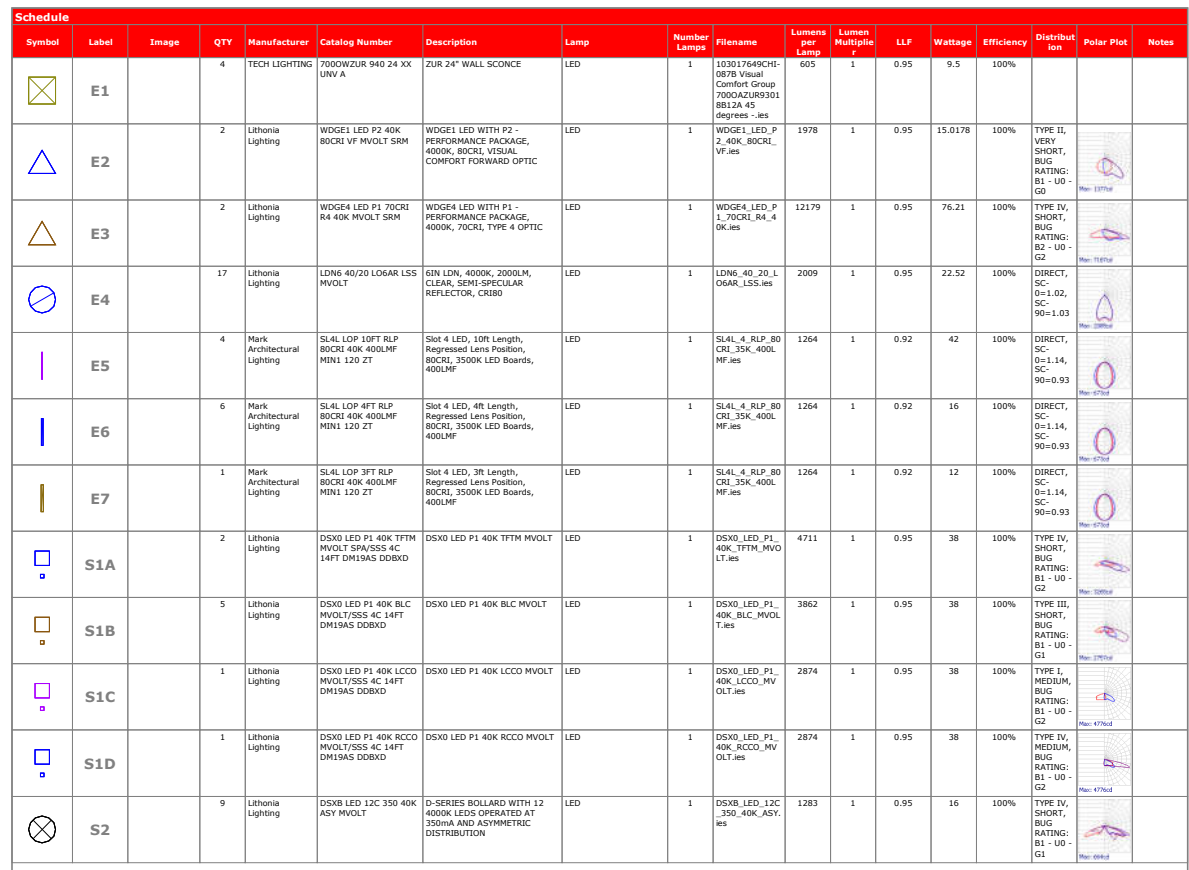
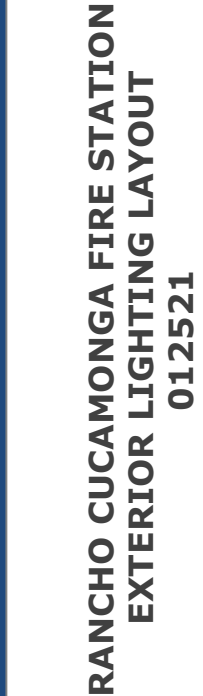
Labels: SEALANT, T = 6", W/#4 @ 16" O.C E.W. ON 3" CRUSHED AGGREGATE BASE, OVER 12" NATIVE MATERIAL @90% RELATIVE COMPACTION, GROOVE MAY BE FORMED OR SAWCUT, T.

	NTS	
	SCALE	A2
	NTS	

	NTS	
	SCALE	A3
	NTS	

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[illegible]

**Date**  
11/5/2020  
**Scale**  
Not to Scale  
**Drawing No.**



